

Agenda

PLANNING COMMISSION REGULAR TUESDAY, December 10, 2024 at 5:30 P.M. Hybrid Meeting

I. Commission Pre-Meeting (Agenda discussion(s))

Beginning: 5:00 p.m.

Location: (NDS Conference Room, 610 East Market Street, Charlottesville, VA 22902)

II. Commission Regular Meeting

Beginning: 5:30 p.m.

Location: (Council Chambers, 605 E. Main Street, Charlottesville, VA 22902 and Electronic/Virtual)

A. DEPARTMENT OF NDS

1. NDS Work Plan Presentation

B. COMMISSIONERS' REPORTS

C. UNIVERSITY REPORT

D. CHAIR'S REPORT

E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA

F. CONSENT AGENDA

(Items removed from the consent agenda will be considered at the end of the regular agenda)

1. Minutes – November 12, 2024 – Regular Meeting
2. Site Plan – 2117 Ivy Road
3. Entrance Corridor – Barracks Road Shopping Center

III. PLANNING COMMISSION PUBLIC HEARING

Beginning: 6:00 p.m.

Continuing: until all public hearings are completed

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing

1. **Charlottesville Capital Improvement Program FY 2026-2030:** Consideration of the proposed 5-year Capital Improvement Program in the areas of Affordable Housing, Education, Public Safety & Justice, Facilities Management, Transportation & Access, Parks & Recreation, and Technology Infrastructure. A copy of the proposed CIP is available for review at: <https://www.charlottesville.gov/budget> **Report prepared by Krisy Hammill, Office of Budget and Performance Management.**

IV. COMMISSION'S ACTION ITEMS

Beginning: following the hearings

Continuing: until all public hearings and action items are completed

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing (as applicable)

V. FUTURE MEETING SCHEDULE/ADJOURN

Tuesday January 14, 2025 – 5:00 PM	Pre-Meeting	
Tuesday January 14, 2025 – 5:30 PM	Regular Meeting	<u>Minutes</u>

Anticipated Items on Future Agendas

Site Plan –240 Stribling Ave, 1613 Grove Street Extended

Special Exception - Friendship Court Phase 3

Subdivision – Seminole/Hillsdale

Entrance Corridor Review - 1185 Seminole Trail

Parks Master Plan – February 2025

PLEASE NOTE: THIS AGENDA IS SUBJECT TO CHANGE PRIOR TO THE MEETING.

PLEASE NOTE: We are including suggested time frames on Agenda items. These times are subject to change at any time during the meeting.

Individuals with disabilities who require assistance or special arrangements to participate in the public meeting may call the ADA Coordinator at (434) 970-3185 or submit a request via email to ada@charlottesville.gov. The City of Charlottesville requests that you provide a 48 hour notice so that proper arrangements may be made.

Planning Commission premeeting and regular meetings are held in person and by Zoom webinar. The webinar is broadcast on Comcast Channel 10 and on all the City's streaming platforms including: Facebook, Twitter, and www.charlottesville.gov/streaming. Public hearings and other matters from the public will be heard via the Zoom webinar which requires advanced registration here: www.charlottesville.gov/zoom. You may also participate via telephone and a number is provided with the Zoom registration or by contacting staff at 434-970-3182 to ask for the dial in number for each meeting.

**LIST OF SITE PLANS AND SUBDIVISIONS APPROVED ADMINISTRATIVELY
11/1/2024 TO 11/30/2024**

- 1. Preliminary Site Plans**
- 2. Final Site Plans**
- 3. Site Plan Amendments**
- 4. Subdivision**
 - a. Rialto Beach PUD (acquisition plat) – November 7, 2024 (not recorded yet)
 - b. BLA VERVE PUD – Stadium, Emmet and JPA – November 15, 2024 (not recorded yet)

November 12, 2024 Planning Commission Minutes are included
as the last documents in this packet.

CITY OF CHARLOTTESVILLE
DEPARTMENT OF NEIGHBORHOOD DEVELOPMENT SERVICES
STAFF REPORT



PLANNING COMMISSION MEETING
APPLICATION FOR APPROVAL OF A FINAL SITE PLAN
APPLICATION NUMBER: PL-24-0028
DATE OF MEETING: December 10, 2024

Project Planner: Dannan O’Connell

Date of Staff Report: December 3, 2024

Applicant: Up Campus Student Living, LLC

Applicant’s Representative(s): Jonathan Showalter, Timmons Group

Current Property Owner(s): RMD Properties, LLC

Property Street Address: 2117 Ivy Road (the “Subject Property”)

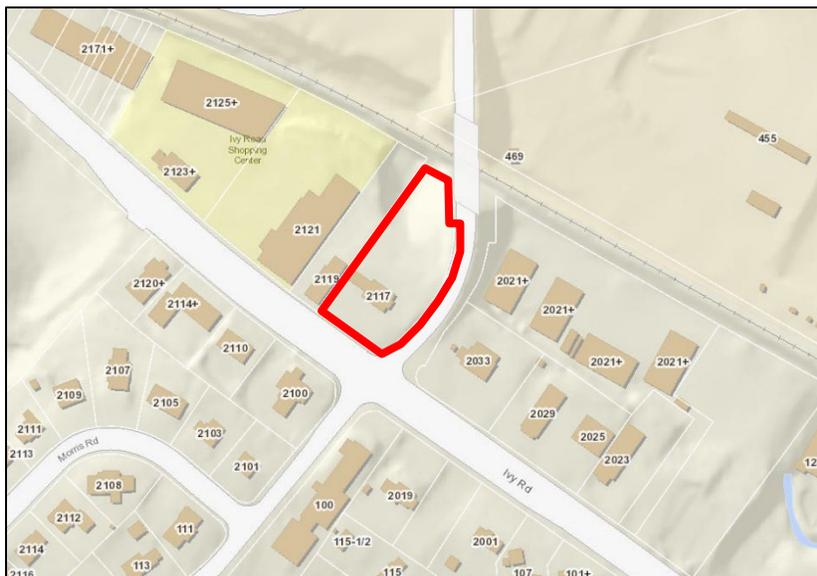
Tax Map & Parcel: 070001200

Current Zoning Classification: Planned Unit Development (PUD), vested under rezoning approved by City Council on January 22, 2024.

Overlay District: Entrance Corridor Overlay District

Reason for Planning Commission Review: Final site plan reflects the proposed development of a property that is the subject of a Planned Unit Development per Sections 34-820(d) and 34-822

Vicinity Map



Standard of Review

Site plan approval is a ministerial function of Planning Commission in which no discretion is involved. If this final site plan contains all required information, then it must be granted approval. If Planning Commission disapproves this plan, it shall set forth in writing the specific reasons therefor. As per Section 34-823(c), the reasons for disapproval shall identify deficiencies in this plan which cause the disapproval, by reference to specific ordinances, laws, or regulations. If this plan is disapproved, Planning Commission must also generally identify modifications or corrections that will permit approval of this plan.

Applicant's Request (Summary)

Jonathan Showalter of Timmons Group, on behalf of the Up Campus Student Living, is seeking Planning Commission approval for the 2117 Ivy Road PUD Final Site Plan. This final site plan proposes a mixed-use redevelopment of the existing commercial bank site. On January 22, 2024, City Council approved Zoning Map Amendment ZM23-00003 rezoning the Subject Property to Planned Unit Development, subject to a PUD Development Plan and proffers. As per the City's Zoning Ordinance, Planning Commission shall review this final site plan because it reflects the proposed development of property that is subject to a Planned Unit Development.

Site Plan Requirements

A. Compliance with the City's Erosion and Sediment Control ordinance (Chapter 10)

Staff has determined that this final site plan complies with the City's Erosion and Sediment Control ordinance. An Erosion and Sediment Control plan is required for this project and is included within the proposed Final Site Plan.

B. Compliance with applicable Planned Unit Development (PUD) District zoning regulations (Sections 34-490 thru 34-519)

The Subject Property is vested under the previous Zoning Ordinance's Planned Unit Development District regulations per the approved rezoning and PUD Development Plan. The project complies with all requirements of the PUD District and conforms to the approved PUD Development Plan (see Attachment 3).

C. Compliance with general standards for site plans (Sections 34-827 thru 34-828)

Staff has determined that this site plan contains the following information as required:

1. General site plan information, including but not limited to project, property, zoning, site, and traffic information: **Found on Sheet 1.**
2. Existing condition and adjacent property information: **Found on Sheet 7.**
3. Phasing plan: **The project will be constructed in one phase per Sheet 1.**
4. Topography and grading: **Found on Sheet 23.**

5. Existing landscaping and trees: **Found on Sheet 7.**
6. The name and location of all water features: **N/A.**
7. One hundred-year flood plain limits: **N/A.**
8. Existing and proposed streets and associated traffic information: **Found on Sheet 18.**
9. Location and size of existing water and sewer infrastructure: **Found on Sheet 7.**
10. Proposed layout for water and sanitary sewer facilities and storm drain facilities: **Found of Sheets 18 and 25.**
11. Location of other existing and proposed utilities and utility easements: **Found on Sheet 22 and 31.**
12. Location of existing and proposed ingress to and egress from the property, showing the distance to the centerline of the nearest existing street intersection: **Found on Sheet 18.**
13. Location and dimensions of all existing and proposed improvements: **Found on Sheet 18.**
14. All areas intended to be dedicated or reserved for public use: **Found on Sheets 18 and 22.**
15. Landscape plan: **Found on Sheet 34.**
16. Where deemed appropriate by the director due to intensity of development:
 - a. Estimated traffic generation figures for the site based upon current ITE rates: **Found on Sheet 1.**
 - b. Estimated vehicles per day: **Found on Sheet 1.**

D. Additional information to be shown on the site plan as deemed necessary by the director or Commission in order to provide sufficient information for the director or Commission to adequately review the site plan.

The Rezoning granted by City Council on January 22, 2024 includes the following conditions (See Attachment 2), which are provided on **Sheet 6** of the final site plan:

1. The green zone shall be a minimum of 8 feet in width. **Found on Sheet 18.**
2. The sidewalk shall be a minimum of 10 feet in width. **Found on Sheet 18.**
3. Floors 1-2 shall be recessed at least 2 feet from Ivy Road beyond that shown on the Application Plan. **Found on Sheet 18.**
4. Floors 3-8 shall be recessed 4 feet from Ivy Road beyond that shown on the Application Plan. **To be verified on building plans.**
5. Floors 9-10 shall be recessed 2 feet beyond floors 3-8. **To be verified on building plans.**

6. The rooftop architectural trellis shall be recessed 10 feet from the top edge of floor 10. **To be verified on building plans.**
7. Street tree species will be coordinated with City staff, the Entrance Corridor Review Board, and the University. **Found on Sheet 34.**

Note that the preceding “Affordable Housing” portion of the proffer statement shall be verified during project construction and is not related to site plan approval.

In addition the PUD Rezoning, City Council approved a Sidewalk Waiver on September 3, 2024 (Attachment 4) to permit the proposed road layout depicted in the Final Site Plan and PUD Development Plan.

E. Compliance with Additional Standards for Specific Uses (Sections 34-930 - 34-937)

The proposed on-site dumpsters comply with the requirements of Section 34-932. No other improvements regulated by these sections are proposed.

Public Comments Received

Site Plan Conference Required by Z.O. Sec. 34-821

The applicant held an in-person site plan conference in the NDS Conference Room of City Hall on Wednesday, September 29, 2024 beginning at 2:00 PM. Property owners and occupants within 500 feet were notified of the meeting per Section 34-41(c)(2).

Recommendation

Staff recommends approval of the final site plan.

Attachments

1. Final Site Plan dated November 26, 2024
2. Approved PUD Rezoning Ordinance dated January 22, 2024
3. Approved PUD Development Plan dated February 22, 2024
4. Approved Sidewalk Waiver dated September 3, 2024



3122 W MARSHALL ST
SUITE 200
RICHMOND, VA 23230
PHONE: 804.608.2774
dwelldesignstudio.com



2117 IVY ROAD FINAL SITE PLAN
2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

2117 IVY ROAD FINAL SITE PLAN

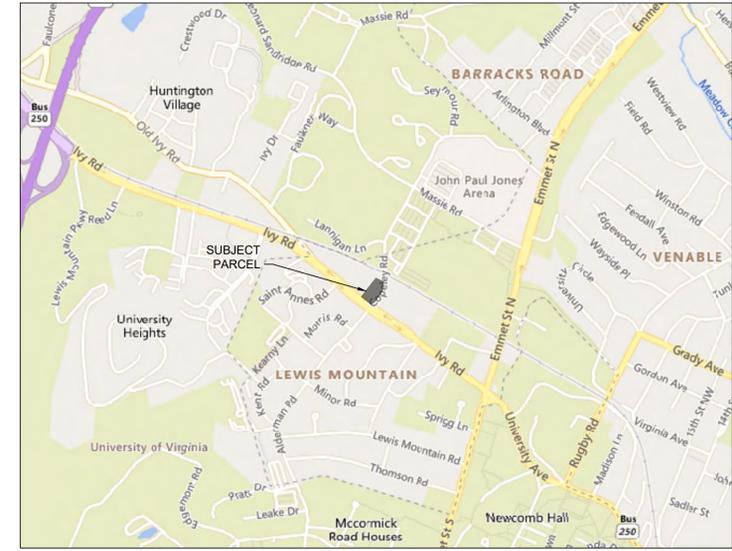
CITY OF CHARLOTTESVILLE, VA 22903
02/26/2024

SITE DATA:
TAX MAP PARCEL: 070001200 (TMP 7-12)
TOTAL PARCEL AREA: 1.03 ACRES
LIMITS OF DISTURBANCE: 1.13 ACRES
EXISTING IMPERVIOUS AREA: 0.68 ACRES
PROPOSED IMPERVIOUS AREA: 1.04 ACRES
SOURCE OF SURVEY, BOUNDARY, AND TOPOGRAPHY: JOSEPH C. MEDLEY
28 IMPERIAL DRIVE
STAUNTON, VA 24401
(540) 885-0920
JOE.MEDLEY@TIMMONS.COM
CONDUCTED: 07/15/2022
VA811 TICKET: A219300827, 7/12/2022
VA811 TICKET: B420101156 REV: 00B, 07/19/24
HORIZONTAL DATUM: NAD83 & STATE PLANE, VIRGINIA SOUTH ZONE
VERTICAL DATUM: NAVD88

BASED ON FEMA FLOOD INSURANCE RATE MAP (FIRM), MAP NO. 51003C0287D, PANEL 2870F 575, EFFECTIVE DATE FEBRUARY 4, 2005, THE PROPERTY SHOWN HEREON LIES IN UNSHADED ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

CURRENT USE: COMMERCIAL - BANK
PROPOSED USE: MIXED USE MULTI STORY APARTMENT/COMMERCIAL BUILDING
ZONED: PUD
SETBACKS: PRIMARY STREET - FRONT: 0' MIN., 20' MAX.
SIDE STREET (COPELEY RD.) - 0' MIN., 20' MAX.
SIDE/REAR: 0' MIN., 0' MAX

MAXIMUM ALLOWABLE BUILDING HEIGHT: 124'
PROPOSED BUILDING HEIGHT: 114.5' (ROOFTOP EQUIPMENT AND STRUCTURES ARE EXEMPT FROM BUILDING HEIGHT PURSUANT TO SECTION 34-1100 OF THE ZONING ORDINANCE)
PROPOSED NUMBER OF UNITS: 231 UNITS (MAX 287 UNITS)
PROPOSED NUMBER OF BEDROOMS: 641 BEDROOMS
PROPOSED DENSITY: MAX UNITS PER PUD 287 (278 UNITS/ACRE)
PROPOSED UNITS 231 (224 UNITS/ACRE)



VICINITY MAP
SCALE: 1" = 1000'

OWNER:
UP CHARLOTTESVILLE 2117 IVY OWNER, LLC
560 W WASHINGTON BLVD STE 200
CHICAGO, IL 60661

ENGINEER OF RECORD:
TIMMONS GROUP
608 PRESTON AVENUE SUITE 200
CHARLOTTESVILLE, VA 22902
CONTACT: CLINT SHIFFLETT, P.E.
TELEPHONE: 434-327-1690

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	NOTES & DETAILS
C1.1	NOTES & DETAILS
C1.2	NOTES & DETAILS
C1.3	NOTES & DETAILS
C1.4	PROFFERS & UTILITY CALCULATIONS
C2.0	EXISTING CONDITIONS
C2.1	DEMOLITION PLAN
C3.0	ESC NOTES & DETAILS
C3.1	ESC NOTES & DETAILS
C3.2	ESC NOTES & DETAILS
C3.3	EROSION & SEDIMENT CONTROL - PHASE 1
C3.4	EROSION & SEDIMENT CONTROL - PHASE 2
C3.5	EROSION & SEDIMENT CONTROL - PHASE 3
C3.6	EROSION & SEDIMENT CONTROL - PHASE 4
C3.7	EROSION & SEDIMENT CONTROL - PHASE 5
C3.8	EROSION & SEDIMENT CONTROL - PHASE 6
C4.0	LAYOUT AND UTILITIES PLAN
A1.0	BIKE PARKING EXHIBIT
A1.1	BIKE PARKING EXHIBIT
C4.1	ROAD SECTIONS
C4.2	EASEMENT PLAN
C5.0	GRADING PLAN & DRAINAGE PLAN
C6.0	EXISTING SWM PLAN
C6.1	PROPOSED SWM PLAN
C6.2	STORMWATER CALCULATIONS
C6.3	STORMWATER CALCULATIONS
C6.4	STORMWATER DETAILS
C6.5	STORMWATER DETAILS
C7.0	STORMWATER & UTILITY PIPES PROFILES
C7.1	DRY UTILITY PLAN & PROFILES
C7.2	DRY UTILITY DETAILS
E101	SITE PHOTOMETRIC PLAN
E102	PHOTOMETRIC DETAILS
L101	LANDSCAPE PLAN
L102	LANDSCAPE DETAILS

TOTAL SHEETS: 36

UTILITY DEMANDS:
WATER FLOW (AVERAGE DAILY DEMAND) - NEW RESIDENTIAL BUILDING
AVERAGE FLOW RATES (FROM TABLE 9-1 & 9-2, CHARLOTTESVILLE STANDARDS & DESIGN MANUAL):
APARTMENTS/CONDOMINIUMS: 300 GPD X 287 (MAX.) UNITS = 86,100 GPD
AVERAGE HOUR: 86,100 GPD/24 = 3,588 GALLONS PER HOUR
MAX HOUR = 300% OF AVERAGE HOUR = 3,588 X 3 = 10,764 GALLONS
PEAK HOUR = MAX HOUR X 1.5 = 10,764 X 1.5 = 16,146 GALLONS = 269.1 GPM

SEWER FLOW (AVERAGE DAILY FLOW)
AVERAGE FLOW RATES (FROM TABLE 9-1 & 9-2, CHARLOTTESVILLE STANDARDS & DESIGN MANUAL):
APARTMENTS/CONDOMINIUMS: 300 GPD X 287 (MAX) UNITS = 86,100 GPD

APPROVALS

DIRECTOR OF NEIGHBORHOOD DEVELOPMENT SERVICES

PARKING INFORMATION	Factor	Spaces	Spaces/Unit	Spaces/Bed
VEHICULAR PARKING				
Required Residential Parking (per Zoning Section 34-984 - Boarding House - 0.3 spaces/bedroom):	634	190	0.79	0.30
Required Retail Commercial Parking (per Zoning Section 34-984 - General - 3.5 spaces/1,000 sf):	1,757 SF	6		
Provided:				
Standard Parking Spaces:		100		
Compact Parking Spaces:		4		
Tandem - Standard Parking Spaces:		41		
Tandem - Compact Parking Spaces:		9		
Additional "Effective Parking" - Resident Car Share - (1 is equivalent to 30 standard spaces):	2	60		
Accessible Parking Spaces (includes HC van and car spaces):		8		
Total Vehicular Parking Provided (including car share "Effective Spaces"):		222	0.92	0.35

BICYCLE AND SCOOTER PARKING				
Required:				
Long Term (per Zoning Section 4.3.3.C.1)				
Residential Household Living - 1 per unit:	242	242	1.00	0.38
Commercial - 1 per 2,500 SF, min. 2	1,757 SF	2		
Short Term (per Zoning Section 4.3.3.C.1)				
Residential Household Living - 1 per 10 units:	242	24	0.10	0.04
Commercial - 1 per 5,000 SF, min. 2	1,757 SF	2		
Scooter:		N/A		
Provided:				
Long Term:		264	1.09	0.42
Short Term:		28	0.12	0.04
Scooter:		32	0.13	0.05

BUILDING PARKING STATEMENT:
PROJECT SHALL INCLUDE AT ALL TIMES INCLUDE A MINIMUM OF 244 LONG TERM BICYCLE SPACES AND 26 SHORT TERM BICYCLE SPACES. ALL BICYCLE SPACES MAY BE USED FOR SCOOTERS AND THE TERM "BICYCLE SPACES" SHALL ALSO PERMIT PRIVATE SCOOTERS IN LIEU OF BICYCLES IN SUCH SPACES.

- NOTES:**
- LOCATION OF NEARBY FIRE HYDRANTS: ON THE NORTH SIDE OF THE BUILDING IN THE CORNER OF COPELEY ROAD AND IVY ROAD INTERSECTION.
 - FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS TO SPRINKLER SYSTEMS SHALL REMAIN CLEAR AND UNOBSTRUCTED WITH A MINIMUM 5' CLEAR RADIUS.

- PUBLIC UTILITY NOTES:**
- PER THE VIRGINIA DEPARTMENT OF HEALTH WATERWORKS REGULATIONS (PART II, ARTICLE 3, SECTION 12 VAC 5-590 THROUGH 630), ALL BUILDINGS THAT HAVE THE POSSIBILITY OF CONTAMINATING THE POTABLE WATER DISTRIBUTION SYSTEM (HOSPITALS, INDUSTRIAL SITES, BREWERIES, ETC.) SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED WITHIN THE FACILITY. THIS DEVICE SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, SHALL BE TESTED IN REGULAR INTERVALS AS REQUIRED, AND TEST RESULTS SHALL BE SUBMITTED TO THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
 - ALL BUILDINGS THAT MAY PRODUCE WASTES CONTAINING MORE THAN ONE HUNDRED (100) PARTS PER MILLION OF FATS, OIL, OR GREASE SHALL INSTALL A GREASE TRAP. THE GREASE TRAP SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, MAINTAIN RECORDS OF CLEANING AND MAINTENANCE, AND BE INSPECTED ON REGULAR INTERVALS BY THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
 - PLEASE CONTACT THE REGULATORY COMPLIANCE ADMINISTRATOR AT 970-3032 WITH ANY QUESTIONS REGARDING THE GREASE TRAP OR BACKFLOW PREVENTION DEVICES.

CITY OF CHARLOTTESVILLE-LAND DISTURBANCE MS4 REPORTING CHART										
BMP TYPE	PRACTICE (1-15)	LEVEL (1 or 2)	LATITUDE	LONGITUDE	TOTAL DA (AC)	IMP. DA (AC)	PERV. DA (AC)	P REMOVED (LBS)	12 DIG. HUC.	*SWM MAINT. AGR. INST. #
TOTAL LOD (AC)					1.13					
TOTAL P REMOVED BY BMP'S (LBS)								0		
TOTAL P CREDITS PURCHASED (LBS)								0.94		
TOTAL P CREDITED TO PROJECT (LBS)								0.94		
TOTAL P REQUIRED (LBS)								0.94		
*LAND DISTURBING #										
*SWM BOND RELEASE DATE										
* TO BE ENTERED BY CITY OF CHARLOTTESVILLE STAFF										

Fire Hydrant Test Report						
SAP Notification: 30003690						
Location: 2117 Ivy Rd						
Date of Test: 10/8/2023						
Performed by: (list all) C. Deane, J. Scott, E. Roach						
Hydrant ID	Location	Pipe Size	Nozzle Size (in)	Pressure Static	Res.	Flow (gpm)
Residual Hydrant:	Ivy Rd and Alderman Rd	8	2.5	85	77	
Flow Hydrant #1	07100 2171 Ivy Rd	12	2.5			1250 5.00
Flow Hydrant #2	07040 Ivy Rd and Cameron Ln	8	2.5			1000 5.00
Flow Hydrant #3			2.5			
Flow Hydrant #4			2.5			
Flow Hydrant #5			2.5			

Special Instructions:



DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4
11/26/2024	EASEMENT PLAN	5



DESIGNER: _____
SEAL NO: _____

COVER SHEET

JOB NUMBER: 54985

C0.0
NOT FOR CONSTRUCTION

GENERAL NOTES:

UTILITIES

- ANY DAMAGE TO EXISTING UTILITIES CAUSED BY CONTRACTOR OR ITS SUBCONTRACTORS SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY AND REPAIRED AT CONTRACTOR'S EXPENSE.
- THE CONTRACT DOCUMENTS DO NOT GUARANTEE THE EXISTENCE, NON-EXISTENCE OR LOCATION OF UTILITIES. CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OR THE NON-EXISTENCE OF UTILITIES. AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION OR CONSTRUCTION, CONTRACTOR SHALL NOTIFY MISS UTILITY (1-800-552-7001) AND/OR THE RESPECTIVE UTILITY COMPANIES FOR GAS, WATER, SEWER, POWER, PHONE AND CABLE. CONTRACTOR SHALL TIMELY ARRANGE TO HAVE THE VARIOUS UTILITIES LOCATED, AND TO HAVE THEM REMOVED OR RELOCATED, OR TO DETERMINE THE METHOD OF PROTECTION ACCEPTABLE TO THE RESPECTIVE OWNER, IF THE METHOD OF PROTECTION IS NOT OTHERWISE SPECIFIED. CONTRACTOR SHALL CONDUCT ITS WORK IN THE VICINITY OF EXISTING UTILITIES IN ACCORDANCE WITH THE RESPECTIVE UTILITY'S RULES AND REGULATIONS. ANY COST INCURRED FOR REMOVING, RELOCATING OR PROTECTING UTILITIES SHALL BE BORNE BY CONTRACTOR UNLESS INDICATED OTHERWISE. CONTRACTOR SHALL EXCAVATE TO LOCATE BURIED UTILITIES FAR ENOUGH IN ADVANCE OF ITS WORK TO ALLOW FOR HORIZONTAL AND/OR VERTICAL ADJUSTMENTS TO ITS WORK AND/OR THE UTILITIES. NO ADJUSTMENT IN COMPENSATION OR SCHEDULE WILL BE ALLOWED FOR DELAYS RESULTING FROM CONTRACTOR'S FAILURE TO CONTACT AND COORDINATE WITH UTILITIES.
- WHEN THE WORK CROSSES EXISTING UTILITIES, THE EXISTING UTILITIES SHALL BE ADEQUATELY SUPPORTED AND PROTECTED FROM DAMAGE DUE TO THE WORK. ALL METHODS FOR SUPPORTING AND MAINTAINING THE EXISTING UTILITIES SHALL BE APPROVED BY THE RESPECTIVE UTILITY COMPANY AND/OR THE ENGINEER. CONTRACTOR SHALL EXERCISE CARE TO INSURE THAT THE GRADE AND ALIGNMENT OF EXISTING UTILITIES ARE MAINTAINED AND THAT NO JOINTS OR CONNECTIONS ARE DISPLACED. BACKFILL SHALL BE CAREFULLY PLACED AND COMPACTED TO PREVENT FUTURE DAMAGE OR SETTLEMENT TO EXISTING UTILITIES. ANY UTILITIES REMOVED AS PART OF THE WORK, AND NOT INDICATED TO BE REMOVED OR ABANDONED, SHALL BE RESTORED USING MATERIALS AND INSTALLATION EQUAL TO THE UTILITY'S STANDARDS.
- CONTRACTOR SHALL NOTIFY LANDOWNERS, TENANTS AND THE ENGINEER PRIOR TO THE INTERRUPTION OF ANY SERVICES. SERVICE INTERRUPTIONS SHALL BE KEPT TO A MINIMUM.
- THE CONTRACTOR SHALL NOTIFY THE CITY UTILITIES DIVISION AT LEAST TWO FULL WORKING DAYS IN ADVANCE TO ARRANGE GAS SERVICE LINE ADJUSTMENTS TO BE PERFORMED BY THE CITY.
- ALL WATER METER, VALVES AND FIRE HYDRANT ADJUSTMENTS/RELOCATIONS SHALL BE COORDINATED OR PERFORMED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF CHARLOTTESVILLE PUBLIC WORKS REQUIREMENTS.
- PER THE VIRGINIA DEPARTMENT OF HEALTH WATERWORKS REGULATIONS (PART II, ARTICLE 3, SECTION 12 VAC 5-590 THROUGH 630), ALL BUILDINGS THAT HAVE THE POSSIBILITY OF CONTAMINATING THE POTABLE WATER DISTRIBUTION SYSTEM (HOSPITALS, INDUSTRIAL SITES, BREWERIES, ETC.) SHALL HAVE A BACKFLOW PREVENTION DEVICE INSTALLED WITHIN THE FACILITY. THIS DEVICE SHALL MEET SPECIFICATIONS OF THE VIRGINIA UNIFORM STATEWIDE BUILDING CODE, SHALL BE TESTED IN REGULAR INTERVALS AS REQUIRED, AND TEST RESULTS SHALL BE SUBMITTED TO THE REGULATORY COMPLIANCE ADMINISTRATOR IN THE DEPARTMENT OF UTILITIES.
- PLEASE CONTACT THE REGULATORY COMPLIANCE ADMINISTRATOR AT 970-3032 WITH ANY QUESTIONS REGARDING THE GREASE TRAP OR BACKFLOW PREVENTION DEVICES.

EROSION CONTROL & WORK AREA PROTECTION AND MAINTENANCE

- ALL FENCES REQUIRED TO BE REMOVED OR DISTURBED BY CONSTRUCTION SHALL BE SALVAGED, STORED, PROTECTED AND RE-INSTALLED BY CONTRACTOR. IF SUCH FENCE MATERIAL CANNOT BE REUSED DUE TO DAMAGE CAUSED BY CONTRACTOR, CONTRACTOR SHALL INSTALL NEW FENCE OF THE SAME TYPE OF MATERIAL. TEMPORARY FENCING REQUIRED BY PRIVATE PROPERTY OWNERS SHALL BE PROVIDED BY CONTRACTOR. CONTRACTOR IS ADVISED TO CONTACT PROPERTY OWNERS AT LEAST FORTY-EIGHT (48) HOURS IN ADVANCE OF REMOVING ANY FENCE IN ORDER TO COORDINATE RELOCATION AND TO ESTABLISH AND CONFIRM WITH THE OWNER THE PRE-CONSTRUCTION CONDITION OF ANY FENCE TO BE REMOVED, DISTURBED OR REPLACED.
- CONTRACTOR IS PERMITTED TO WORK IN THE PUBLIC RIGHT-OF-WAY AND ANY TEMPORARY OR PERMANENT EASEMENT SHOWN ON THE PLANS. HOWEVER, CONTRACTOR SHALL NOTIFY PROPERTY OWNER(S) FORTY-EIGHT (48) HOURS PRIOR TO WORKING ON ANY PRIVATE PROPERTY TO COORDINATE ACCESS AND TO DETERMINE A STORAGE AREA FOR MATERIALS IF NEEDED. COORDINATION OF ACCESS TO PUBLIC RIGHT-OF-WAY AND STORAGE OF MATERIALS THEREON SHALL BE COORDINATED WITH THE ENGINEER. CONTRACTOR'S FAILURE TO SO NOTIFY AND COORDINATE WITH PROPERTY OWNERS AND/OR THE ENGINEER MAY RESULT IN DELAYS. NO ADDITIONAL COMPENSATION OR TIME FOR PERFORMANCE WILL BE GIVEN FOR ANY SUCH DELAYS.
- CONTRACTOR SHALL, AT HIS EXPENSE, MAINTAIN THE WORK SITE IN A CLEAN AND ORDERLY APPEARANCE AT ALL TIMES. ALL DEBRIS AND SURPLUS MATERIAL COLLECTED SHALL BE DISPOSED OF OFF THE WORK SITE BY CONTRACTOR, AT HIS EXPENSE.
- EXISTING LAWNS, TREES, SHRUBS, FENCES, UTILITIES, CULVERTS, WALLS, WALKS, DRIVEWAYS, POLES, SIGNS, RIGHT-OF-WAY MONUMENTS, MAILBOXES AND THE LIKE SHALL BE PROTECTED FROM DAMAGE DURING THE WORK. ANY DAMAGE CAUSED TO SUCH ITEMS SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST. PROPERTY PINS DISTURBED BY CONTRACTOR THAT ARE NOT SHOWN ON THE PLANS TO BE DISTURBED SHALL BE RESTORED BY A LICENSED SURVEYOR AT CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL EMPLOY EROSION CONTROL DEVICES AND METHODS AS REQUIRED TO MEET THE REQUIREMENTS AND INTENT OF THE CITY EROSION CONTROL ORDINANCE. CONTRACTOR SHALL PROVIDE THE NECESSARY DIVERSION DITCHES, DIKES OR TEMPORARY CULVERTS REQUIRED TO PREVENT MUD AND DEBRIS FROM BEING WASHED ONTO THE STREETS OR PROPERTY. CONTRACTOR'S VEHICLES SHALL BE KEPT CLEAN TO PREVENT MUD OR DUST FROM BEING DEPOSITED ON STREETS. NO AREA SHALL BE LEFT DENUDE FOR MORE THAN SEVEN (7) CALENDAR DAYS.
- CONTRACTOR SHALL CLEAN UP, RESTORE, PERMANENTLY SEED AND MAINTAIN ALL DISTURBED AREAS IMMEDIATELY UPON COMPLETION OF WORK ON EACH SITE. TOPSOIL, SEED, FERTILIZER AND MULCH SHALL BE PLACED IN ACCORDANCE WITH CITY STANDARDS ON ALL DISTURBED AREAS. A PERMANENT STAND OF GRASS ADEQUATE TO PREVENT EROSION SHALL BE ESTABLISHED PRIOR TO FINAL ACCEPTANCE.
- AS DETERMINED BY THE ENGINEER, ANY DEFECTIVE, FAULTY, CRACKED, BROKEN OR GRAFFITIED SIDEWALKS, DRIVEWAYS, HANDICAP RAMPS OR CURB & GUTTER SHALL BE REMOVED AND REPLACED PRIOR TO FINAL ACCEPTANCE. NO ADDITIONAL PAYMENT WILL BE MADE FOR SUCH WORK.

EARTHWORK AND SITE CONDITIONS

- EXCEPT AS OTHERWISE SHOWN ON THE PLANS, ALL CUTS AND FILLS SHALL MATCH EXISTING SLOPES OR BE NO GREATER THAN 2:1.
- NO NEW SIDEWALK SHALL EXCEED 2.0% CROSS-SLOPE (PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC).
- ALL GRADING AND IMPROVEMENTS TO BE CONFINED TO THE PROJECT AREA UNLESS OTHERWISE INDICATED.
- ALL MATERIALS AND INSTALLATION DETAILS SHALL CONFORM TO THE CITY OF CHARLOTTESVILLE ENGINEERING DIVISION STANDARDS AND ALL OTHER APPLICABLE CITY ORDINANCES.
- ANY UNUSUAL OR UNANTICIPATED SUBSURFACE CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND LOCATIONS PRIOR TO BEGINNING WORK, AND IMMEDIATELY NOTIFY THE ENGINEER IN THE EVENT THERE ARE ANY DISCREPANCIES BETWEEN SUCH CONDITIONS AND THOSE SHOWN ON THE PLANS AND SPECIFICATIONS.

CONCRETE AND ASPHALT

- ALL FORMS SHALL BE INSPECTED BY THE ENGINEERING INSPECTOR BEFORE ANY CONCRETE IS PLACED. THE ENGINEER INSPECTOR MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO REMOVE AND REPLACE CONCRETE PLACED PRIOR TO OR WITHOUT SUCH INSPECTION.
- ALL MATERIAL INSIDE FORMS SHALL BE CLEAN AND FREE OF ALL ROCKS AND OTHER LOOSE DEBRIS. SUB-BASE MATERIAL SHALL BE COMPACTED BY MECHANICAL MEANS.
- CONCRETE SHALL NOT BE PLACED UNLESS THE AIR TEMPERATURE IS AT LEAST 40 DEGREES FAHRENHEIT (F) IN THE SHADE AND RISING.
- CONCRETE SHALL NOT BE PLACED UNTIL STEEL DOWELS HAVE BEEN INSTALLED IN EXISTING CONCRETE IN ACCORDANCE WITH CITY STANDARDS.

- 1/2" PREMOLDED EXPANSION JOINT MATERIAL SHALL BE PLACED AT A MAXIMUM OF 30' INTERVALS ON NEW SIDEWALK, CURB, CURB & GUTTER, AT EACH END OF DRIVEWAY ENTRANCES, AT EACH END OF HANDICAP RAMPS, SOME POINT ON ENTRANCE WALKS AND STEPS ADJUSTMENTS, AND ALONG BUILDINGS AND WALLS WHERE NEW CONCRETE SIDEWALKS ARE PLACED AGAINST THEM.
- ALL EXISTING CURBS, CURB & GUTTER, SIDEWALK AND STEPS TO BE REMOVED SHALL BE TAKEN OUT TO THE NEAREST JOINT. DEMOLITION AND DISPOSAL COST TO BE INCLUDED IN OTHER UNIT BID ITEMS. NO SEPARATE PAYMENT WILL BE MADE FOR THIS WORK.
- DRIVEWAY ADJUSTMENTS ARE TO BE DONE IN GENTLE TRANSITIONS RATHER THAN ABRUPT BREAKS AT THE BACK OF WALKS. GRAVEL DRIVEWAYS ABOVE STREET GRADE SHALL BE PAVED FOR A MINIMUM DISTANCE OF 20' BEHIND THE BACK OF THE SIDEWALK OR CURB & GUTTER APPROX WHERE APPLICABLE.
- EXISTING ASPHALT PAVEMENT SHALL BE SAW CUT AND REMOVED AS PER THE SPECIFICATIONS. REMOVAL SHALL BE DONE IN SUCH A MANNER AS TO NOT TEAR, BULGE OR DISPLACE ADJACENT PAVEMENT. EDGES SHALL BE CLEAN AND VERTICAL, ALL CUTS SHALL BE PARALLEL OR PERPENDICULAR TO THE DIRECTION OF TRAFFIC.
- DISPOSAL OF ALL EXCESS MATERIAL IS THE RESPONSIBILITY OF CONTRACTOR.

DRAINAGE

- CONTRACTOR SHALL EXERCISE CARE, ESPECIALLY AT INTERSECTIONS AND GUTTER LINES, TO PROVIDE POSITIVE DRAINAGE. ANY AREAS WHERE WATER IS PONDING SHALL BE CORRECTED BY CONTRACTOR AT NO ADDITIONAL COST. POSITIVE DRAINAGE OF ALL ROADWAY AREAS TO THE STORM DRAIN INLETS OR OTHER ACCEPTABLE DRAINAGE CHANNELS AS NOTED ON THE PLANS IS REQUIRED.
- CONTRACTOR SHALL MAINTAIN EXISTING STREAMS, DITCHES, DRAINAGE STRUCTURES, CULVERTS AND FLOWS AT ALL TIMES DURING THE WORK. CONTRACTOR SHALL PAY FOR ALL PERSONAL INJURY AND PROPERTY DAMAGE WHICH MAY OCCUR AS A RESULT OF FAILING TO MAINTAIN ADEQUATE DRAINAGE.
- ALL PIPES, DI'S AND OTHER STRUCTURES SHALL BE INSPECTED BY THE ENGINEERING INSPECTOR BEFORE BEING BACKFILLED OR BURIED. THE ENGINEERING INSPECTOR MAY REQUIRE CONTRACTOR, AT NO ADDITIONAL COST, TO UNCOVER AND RE-COVER SUCH STRUCTURES IF THEY HAVE BEEN BACKFILLED OR BURIED WITHOUT SUCH INSPECTION.
- REMOVED PIPE SHALL BE THE PROPERTY OF CONTRACTOR AND IF NOT SALVAGED FOR RE-USE, SHALL BE DISPOSED OF LAWFULLY.
- ALL STORM SEWER PIPE AND DROP INLETS SHALL BE CLEARED OF DEBRIS AND ERODED MATERIAL PRIOR TO FINAL ACCEPTANCE.
- ALL STORM SEWER PIPE JOINTS SHALL BE SEATED AND SEALED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS.
- ALL EXISTING ROOF DRAINS AND OTHER DRAINAGE CONDUIT TIED INTO EXISTING PIPE SHALL BE TIED INTO NEW PIPE. ALL EXISTING ROOF DRAINS AND OTHER DRAINAGE CONDUIT BLOCKED OR DISRUPTED FROM THEIR PRE-CONSTRUCTION DRAINAGE PATTERNS SHALL BE SHORTENED, EXTENDED OR OTHERWISE CONNECTED TO THE NEW WORK USING MATERIALS APPROVED BY THE ENGINEERING INSPECTOR, AND IN SUCH A WAY THAT THE NEW DRAINAGE PATTERNS ARE ACCEPTABLE TO ENGINEER.
- A CITY STORMWATER MANAGEMENT INSPECTOR SHALL BE CONTACTED 24-HOURS IN ADVANCE OF THE DETENTION SYSTEM INSTALLATION.

VEGETATION

- PRIOR TO REMOVING ANY VEGETATION, CONTRACTOR SHALL MEET WITH THE PROPERTY OWNERS AND THE ENGINEER TO REVIEW THE LIMITS OF CONSTRUCTION AND OBTAIN PERMISSION TO REMOVE VEGETATION REQUIRED TO DO THE WORK.
- TREE AND PLANT ROOTS OR BRANCHES THAT MAY INTERFERE WITH THE WORK SHALL BE TRIMMED OR CUT ONLY WITH THE APPROVAL OF THE OWNER AND ENGINEER. ANY TREES OR PLANTS WHICH ARE SHOWN TO REMAIN THAT DO NOT INTERFERE WITH THE WORK, BUT ARE DAMAGED BY CONTRACTOR OR HIS SUBCONTRACTORS, SHALL BE REPAIRED OR REPLACED BY CONTRACTOR AT NO ADDITIONAL COST.

TRAFFIC AND SIGNAGE

- ALL TEMPORARY NO PARKING REQUIREMENTS SHALL BE PROVIDED BY CONTRACTOR WITH APPROVAL OF THE TRAFFIC ENGINEER.
- CONTRACTOR SHALL PROVIDE NECESSARY REFLECTORS, BARRICADES, TRAFFIC CONTROL DEVICES AND/OR FLAG PERSONS TO INSURE THE SAFETY OF ITS WORKERS AND THE PUBLIC.
- CONTRACTOR SHALL MAINTAIN SAFE AND PASSABLE PUBLIC ACCESS TO PROPERTIES AND THE PUBLIC RIGHT-OF-WAY DURING CONSTRUCTION. EXCEPT AS APPROVED IN ADVANCE IN WRITING BY THE ENGINEER, TWO WAY TRAFFIC SHALL BE MAINTAINED AT ALL TIMES THROUGH WORK AREAS WITHIN THE PUBLIC RIGHT-OF-WAY. THESE TRAFFIC CONTROLS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT MUTCD MANUAL. ACCESS FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONALLY CONTRACTOR SHALL PROVIDE ADEQUATE PEDESTRIAN BARRIERS AND MAINTAIN PEDESTRIAN CIRCULATION DURING CONSTRUCTION.
- EXCEPT AS OTHERWISE AUTHORIZED IN WRITING BY THE ENGINEER, THE WORK SHALL BE COORDINATED AND PERFORMED IN A MANNER SO THAT ALL EXISTING FIRE HYDRANTS SHALL BE ACCESSIBLE AT ALL TIMES DURING THE WORK.
- CONTRACTOR SHALL NOTIFY PROPERTY OWNER(S) TWELVE (12) HOURS IN ADVANCE OF BLOCKING ANY ENTRANCE. NO ENTRANCE SHALL BE BLOCKED FOR MORE THAN TWELVE (12) HOURS IN ANY 24 HOUR PERIOD WITHOUT APPROVAL OF THE PROPERTY OWNER, EXCEPT WHERE NEW ENTRANCES ARE CONSTRUCTED.
- WITHIN 24 HOURS OF THEIR REMOVAL, CONTRACTOR SHALL REPLACE MAILBOXES, STREET SIGNS, TRAFFIC SIGNS, AND THE LIKE THAT ARE REMOVED FOR CONSTRUCTION. PERMANENT OR SUITABLE TEMPORARY ITEMS WILL BE USED AS THE STATUS OF WORK PERMITS. PERMANENT OR TEMPORARY STOP SIGNS MUST BE IN PLACE AT ALL TIMES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE CITY TRAFFIC DIVISION ONE FULL WORKING DAY PRIOR TO ANY CONCRETE POUR WHERE TRAFFIC AND STREET SIGNS ARE TO BE REPLACED. UPON SUCH NOTIFICATION, THE CITY WILL PROVIDE SIGN POST SLEEVES, WHEN NEEDED, AND IDENTIFY THE LOCATION WHERE SIGNS ARE TO BE PLACED.
- ALL SIGNAGE AND PAVEMENT MARKINGS SHALL BE SHOWN ON PLANS AND SHALL BE CONSISTENT WITH THE MUTCD.
- A TEMPORARY STREET CLOSURE PERMIT IS REQUIRED FOR CLOSURE OF SIDEWALKS, PARKING PACES, AND ROADWAYS AND IS SUBJECT TO APPROVAL BY THE CITY TRAFFIC ENGINEER.

MISCELLANEOUS

- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS, INSPECTIONS, BONDS, AND OTHER APPROVAL RELATED ITEMS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, LOCAL, STATE, AND FEDERAL POLICIES. CONTACT FOR CITY STREET/SIDEWALK CUT PERMITS, PLEASE CALL (434) 970-3361.
- THE CONTRACTOR WILL BE REQUIRED TO PLACE "DEAR NEIGHBOR" DOOR HANGER NOTIFICATIONS ON THE FRONT DOOR OF ALL RESIDENCES AFFECTED BY THE CONSTRUCTION AND "SIDEWALK" SAFETY SIGNS AT EACH LOCATION WITH WORKING CREWS. THIS SHALL BE DONE PRIOR TO ANY WORK STARTING.
- WATER METERS THAT ARE TO BE MOVED SHALL BE MOVED COMPLETELY IN THE SIDEWALK OR COMPLETELY OUT OF THE SIDEWALK. WATER METERS MOVED IN THE SIDEWALK SHALL BE LOCATED WITHIN 18" OF THE EDGE.
- RETAINING WALLS WITH A MAX HEIGHT OF 12" OR LESS SHALL BE POURED IN CONTINUITY WITH THE SIDEWALK. WALLS WITH A MAX HEIGHT GREATER THAN 12" SHALL BE SEGMENTAL BLOCK WALLS.
- ALL SIGNS TO BE RELOCATED SHALL BE LOCATED WITHIN 6 INCHES BEHIND THE BACK EDGE OF THE SIDEWALK.
- MAILBOXES SHALL BE RELOCATED TO THE FRONT OF THE SIDEWALK BUT SHALL ALSO PROVIDE A MINIMUM OF 3 FEET OF CLEARANCE BEHIND THE MAILBOX TO MEET ADA REQUIREMENTS.
- EXISTING ROOF DRAINS SHALL BE ROUTED THROUGH SIDEWALK. ROOF DRAINS LARGER THAN 4" WILL REQUIRE A TROUGH DRAIN

GENERAL NOTES

- CONTRACTOR SHALL COORDINATE ALL REQUIREMENTS FOR AS BUILT DOCUMENTATION, AS REQUIRED BY THE LOCALITY. THIS INCLUDES, BUT IS NOT LIMITED TO, TESTING, INSTALLATION DOCUMENTATION, SURVEY, ETC. ALL REQUIREMENTS SHALL BE DISCUSSED WITH THE LOCALITY PRIOR TO BEGINNING CONSTRUCTION.
- ALL MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS AND STANDARDS.
- PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONSULT THE ENGINEER AND VERIFY THE APPROVAL OF THE PLANS BY ALL FEDERAL, STATE AND LOCAL AGENCIES.
- THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL POINTS OF CONNECTION OR PROPOSED WORK TO EXISTING CURBS, SANITARY LINES, WATER LINES, ETC., PRIOR TO CONSTRUCTION. SUBGRADE, OR OTHER ROADWAY CONSTRUCTION PURPOSES, THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE OWNER. THESE AREAS SHALL BE EXCAVATED BELOW PLAN GRADE AS DIRECTED BY THE OWNER, BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED IN ACCORDANCE WITH CURRENT.
- ALL STORM SEWER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH VDOT 1 AND I LD-94 (D) 121.13.
- ALL RCP STORM SEWER PIPE SHALL BE REINFORCED TONGUE AND GROOVE CONCRETE PIPE IN ACCORDANCE WITH ASTM-C-76. PIPE SHALL BE MINIMUM CLASS III OR GREATER IN ACCORDANCE WITH CURRENT VDOT STANDARDS AND SPECIFICATIONS.
- IF PRE-CAST UNITS ARE TO BE USED CERTIFICATION AND VDOT STAMP WILL BE REQUIRED ON ALL UNITS.
- ALL CONCRETE SHALL BE A3-AE (AIR ENTRAINED 3,000 PSI), UNLESS OTHERWISE NOTED.
- DESIGN CHANGES, SPECIFIED MATERIALS CHANGES AND/OR FIELD CHANGES FROM THE APPROVED PLANS NEED TO BE RESUBMITTED TO THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. A LETTER OF EXPLANATION SHALL ACCOMPANY THE REVISED PLANS AND/OR THE DRAINAGE CALCULATIONS, WHICH MUST BE SUBMITTED AND APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON PLAN. IF THERE APPEARS TO BE A CONFLICT, AND/OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THIS PLAN, CALL MISS UTILITY OF CENTRAL VIRGINIA AT 1-800-552-7001.
- THE INSTALLATION OF SEWER, WATER, AND GAS MAINS (INCLUDING SERVICE LATERALS AND SLEEVES) SHALL BE COMPLETED PRIOR TO THE PLACEMENT OF AGGREGATE BASE COURSE.
- A PRIME COAT SEAL BETWEEN THE AGGREGATE BASE AND BITUMINOUS CONCRETE WILL BE REQUIRED AT THE RATE OF 0.30 GALLONS PER SQUARE YARD (REC-250 PRIME COAT) PER VDOT STANDARDS AND SPECIFICATIONS.
- THE SCHEDULING OF AGGREGATE BASE INSTALLATION AND SUBSEQUENT PAVING ACTIVITIES SHALL ACCOMMODATE FORECAST WEATHER CONDITIONS PER SECTION 315 OF THE ROAD AND BRIDGE SPECIFICATIONS.
- THE OWNERS REPRESENTATIVE SHALL HAVE APPROVED THE AGGREGATE BASE COURSE(S) FOR DEPTH, TEMPLATE AND PERFORMED THE REQUIRED FIELD INSPECTION (PROOF ROLL) PRIOR TO PLACEMENT OF ANY SURFACE COURSE(S). CONTACT THE OWNER FOR INSPECTION FOR THE AGGREGATE BASE COURSE(S) 48 HOURS PRIOR TO APPLICATION OF THE SURFACE COURSE(S).
- ALL VEGETATION AND ORGANIC MATERIAL MATERIAL IS TO BE REMOVED FROM THE PROPOSED PAVEMENT LIMITS PRIOR TO CONDITIONING OF THE SUBGRADE.
- CERTIFICATION AND SOURCE OF MATERIALS ARE TO BE SUBMITTED TO THE OWNER FOR ALL MATERIALS AND BE IN ACCORDANCE WITH THE ROAD AND BRIDGE SPECIFICATIONS, AND ROAD AND BRIDGE STANDARDS.
- ALL NEW HANDICAP ACCESSIBLE REQUIREMENTS ON-SITE AND WITHIN ALL NEW STRUCTURES SHALL COMPLY WITH THE 2006 UNIFORM STATEWIDE BUILDING CODE, 2006 VIRGINIA CONSTRUCTION CODE, AND ICC/ANSI A117-1-03.
- HORIZONTAL AND VERTICAL SIGHT DISTANCES SHALL BE FREE OF PARKED VEHICLES.
- THIRD PARTY INSPECTORS WILL NEED TO BE ON-SITE DURING ROAD AND CONSTRUCTION TO DOCUMENT THAT THE ROAD WAS CONSTRUCTED ACCORDING TO THE CURRENT VERSION OF THE VDOT ROAD AND BRIDGE SPECIFICATIONS. REPORTS, SHALL BE SENT TO THE ENGINEERING DEPARTMENT FOR REVIEW AS CONSTRUCTION PROGRESSES. FURTHERMORE, THE AN INSPECTOR FROM THE ENGINEERING DEPARTMENT NEEDS TO BE CONTACTED NO MORE THAN 24 HOURS IN ADVANCE OF ROAD CONSTRUCTION.

FIRE DEPARTMENT NOTES:

- BUILDING STREET NUMBERS SHALL BE PLAINLY VISIBLE FROM STREET.
- A KNOXBOX KEY BOX SHALL BE MOUNTED TO THE SIDE OF THE FRONT OR MAIN ENTRANCE.
- AN ELEVATOR KEYBOX WILL BE REQUIRED.
- OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13.5'.
- AN APPROVED WATER SUPPLY DURING CONSTRUCTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON SITE.
- IF THE FLOOR LEVEL OF THE HIGHEST STORY IS MORE THAN 30' ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS, THEN A CLASS 1 STANDPIPE SYSTEM MUST BE INSTALLED IN ADDITION TO THE SPRINKLER SYSTEM.
- WHERE A BUILDING HAS BEEN CONSTRUCTED TO A HEIGHT GREATER THAN 50' OR FOUR STORIES, AT LEAST ONE TEMPORARY LIGHTED STAIRWELL SHALL BE PROVIDED UNLESS OR MORE PERMANENT STAIR ARE ERECTED AS THE CONSTRUCTION PROGRESSES.
- BUILDINGS FOUR OR MORE STORIES IN HEIGHT SHALL BE PROVIDED WITH NOT LESS THAN ONE STANDPIPE OR USE DURING CONSTRUCTION. SUCH STANDPIPES SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40' IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. SUCH STANDPIPE SHALL BE PROVIDED WITH FIRE DEPARTMENT HOSE CONNECTIONS AT ACCESSIBLE LOCATIONS ADJACENT TO USABLE STAIRS. SUCH STANDPIPES SHALL BE EXTENDED AS CONSTRUCTION PROGRESSES TO WITHIN ONE FLOOR OF THE HIGHEST POINT OF CONSTRUCTION HAVING SECURED DECKING OR FLOORING.
- SMOKING TO BE ALLOWED IN ONLY DESIGNATED SPACES WITH PROPER RECEPTACLES. "NO SMOKING" SIGNS SHALL BE POSTED AT EACH BUILDING SITE AND WITHIN EACH BUILDING DURING CONSTRUCTION.
- WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKDAY.
- CUTTING AND WELDING. OPERATIONS INVOLVING THE USE OF CUTTING AND WELDING SHALL BE DONE IN ACCORDANCE WITH CHAPTER 35, OF THE VIRGINIA STATEWIDE FIRE PREVENTION CODE, ADDRESSING WELDING AND HOTWORK OPERATIONS.
- FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE BEEN ACCUMULATED.
- REQUIRED VEHICLE ACCESS SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED WITHIN 100' OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE. ALL PAVEMENT SHALL BE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHING 85,000LBS.
- A PERMIT IS REQUIRED FOR FIRE LINE INSTALLATION. A DETAILED DRAWING (2 SETS) SHOWING FITTINGS AND THRUST BLOCKS MUST BE SUBMITTED WITH THE PERMIT APPLICATION. ONCE INSTALLED, THE FIRE LINE REQUIRES A VISUAL INSPECTION AND A PRESSURE TEST INSPECTION BY THE FIRE MARSHALL'S OFFICE.
- FIRE HYDRANTS, FIRE PUMP TEST HEADER, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL REMAIN CLEAR AND UNOBTSTRUCTED BY LANDSCAPING, PARKING OR OTHER OBJECTS. LANDSCAPING IN THE AREA OF THESE ITEMS SHALL BE OF THE TYPE THAT WILL NOT ENCRONCH ON THE REQUIRED FIVE FOOT RADIUS ON MATURITY OF THE LANDSCAPING.
- VSFPC 903.3.5.2 - HIGH RISE BUILDINGS REQUIRE A SECONDARY WATER SUPPLY TO THE BUILDING'S FIRE PUMP.
- FIRE LINES - A PERMIT IS REQUIRED FOR FIRE LINE INSTALLATION. A DETAILED DRAWING (2 SETS) SHOWING FITTINGS AND THRUST BLOCKS MUST BE SUBMITTED WITH THE PERMIT APPLICATION. ONCE INSTALLED, THE FIRE LINE REQUIRES A VISUAL INSPECTION AND A PRESSURE TEST INSPECTION BY THE FIRE MARSHAL'S OFFICE.
- VSFPC 507.5.4 AND 912.3 - FIRE HYDRANTS, FIRE PUMP TEST HEADER, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL REMAIN CLEAR AND UNOBTSTRUCTED BY LANDSCAPING, PARKING OR OTHER OBJECTS OR BARRIERS.
- SPFC 503.5.1.1 - HYDRANT FOR STANDPIPE SYSTEM - BUILDINGS EQUIPPED WITH A STANDPIPE SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 905 SHALL HAVE A FIRE HYDRANT WITHIN 100 FEET OF THE FIRE DEPARTMENT CONNECTIONS. THE DISTANCE SHALL BE PERMITTED TO EXCEED 100 FEET WHERE APPROVED BY THE FIRE CODE OFFICIAL.
- LOCAL REQUIREMENT -LANDSCAPING IN THE AREA FIRE HYDRANTS, FIRE PUMP TEST HEADER, FIRE DEPARTMENT CONNECTIONS OR FIRE SUPPRESSION SYSTEM CONTROL VALVES SHALL BE OF THE TYPE THAT WILL NOT ENCRONCH ON THE REQUIRED FIVE (5) FOOT RADIUS ON MATURITY OF THE LANDSCAPING.
- VSFPC 503.2.1 - OVERHEAD WIRING OR OTHER OBSTRUCTIONS SHALL BE HIGHER THAN 13 FEET 6 INCHES.
- VSFPC 3312.1 - AN APPROVED WATER SUPPLY FOR FIRE PROTECTION SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE.
- VSFPC 905.3.1 - IF THE FLOOR LEVEL OF THE HIGHEST STORY IS MORE THAN 30 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS, THEN A CLASS 1 STANDPIPE SYSTEM MUST BE INSTALLED IN ADDITION TO THE SPRINKLER SYSTEM.
- VSFPC 3311.1 - WHERE A BUILDING HAS BEEN CONSTRUCTED TO A HEIGHT GREATER THAN 50 FEET OR FOUR (4) STORIES, AT LEAST ONE TEMPORARY LIGHTED STAIRWAY SHALL BE PROVIDED UNLESS ONE OR MORE OF THE PERMANENT STAIRWAYS ARE ERECTED AS THE CONSTRUCTION PROGRESSES.
- VSFPC 3313.1 - WHERE REQUIRED - BUILDINGS FOUR OR MORE STORIES IN HEIGHT SHALL BE PROVIDED WITH NOT LESS THAN ONE STANDPIPE FOR USE DURING CONSTRUCTION. SUCH STANDPIPES SHALL BE INSTALLED WHEN THE PROGRESS OF CONSTRUCTION IS NOT MORE THAN 40 FEET IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS. SUCH STANDPIPE SHALL BE PROVIDED WITH FIRE DEPARTMENT HOSE CONNECTIONS AT ACCESSIBLE LOCATIONS ADJACENT TO USABLE STAIRS. SUCH STANDPIPES SHALL BE EXTENDED AS CONSTRUCTION PROGRESSES TO WITHIN ONE FLOOR OF THE HIGHEST POINT OF CONSTRUCTION HAVING SECURED DECKING OR FLOORING.
- NO VEHICLES/MACHINERY OF ANY TYPE, CONSTRUCTION MATERIALS OR CONSTRUCTION DEBRIS ARE TO BE PARKED, PLACED OR STORED EITHER IN FRONT OF OR WITHIN 15 FEET OF A FIRE HYDRANT.
- KEEP DUMPSTERS, BUILDING MATERIALS AND CONSTRUCTION DEBRIS AT LEAST 30 FEET FROM BUILDINGS UNDER CONSTRUCTION.

SITE PLAN LEGEND

EXISTING		PROPOSED	
	PROPERTY LINE		FENCE
	POST/BOLLARD		MAJOR CONTOUR
	SIGN		MINOR CONTOUR
	BUMPER BLOCK		SURVEY CONTROL POINT
	TRAFFIC CONTROL BOX		
	UNKNOWN MANHOLE		
	STORM SEWER		
	STORM SEWER MANHOLE		
	CATCH BASIN		
	SANITARY SEWER		
	SANITARY SEWER MANHOLE		
	WATER LINE		
	WATER MANHOLE		
	WATER VALVE		
	FIRE HYDRANT		
	GAS LINE		
	GAS METER		
	GAS MARKER		
	COMMUNICATIONS/TELEPHONE LINE		
	TELEPHONE/COMMUNICATIONS MANHOLE		
	COMMUNICATIONS VAULT		
	ELECTRIC LINE		
	ELECTRIC MANHOLE		
	ELECTRIC PULLBOX		
	ELECTRIC METER		
	UTILITY POLE		
	DECIDUOUS TREE		
	GUARDRAIL		
	PROPERTY LINE		WATER
	MAJOR CONTOUR		GAS
	MINOR CONTOUR		STORM
	SITE LIGHT		ROOF DRAIN
	TOP OF CURB		SANITARY
			CATCH BASIN
			STORM MANHOLE
			SANITARY MANHOLE
			SANITARY CLEAN OUT
			FIRE HYDRANT
			FDC
			METER
			SETBACK
			WATER VALVE
			BOLLARD
			STREET SIGN
			FENCE
			MAJOR CONTOUR
			MINOR CONTOUR
			SITE LIGHT
			TOP OF CURB

FIRE DEPARTMENT NOTES CONT...

- VSFPC 310.3; 310.5 - NO SMOKING OR VAPING WITHIN THE CONSTRUCTION SAFETY FENCE. NO SMOKING SIGNS SHALL BE POSTED THROUGHOUT EACH BUILDING UNDER CONSTRUCTION AS WELL AS OUTSIDE THE BUILDING. SHOULD ANYONE FROM THE FIRE MARSHAL'S OFFICE WITNESS SMOKING/VAPING WITHIN THE CONSTRUCTION SITE, HE OR SHE MAY REQUEST A 24 HOUR STOP WORK ORDER FROM THE CITY BUILDING OFFICIAL.
- VSFPC 3304.2 - WASTE DISPOSAL OF COMBUSTIBLE DEBRIS SHALL BE REMOVED FROM THE BUILDING AT THE END OF EACH WORKDAY.
- VSFPC 3315.1 - FIRE EXTINGUISHERS SHALL BE PROVIDED WITH NOT LESS THAN ONE
- APPROVED PORTABLE FIRE EXTINGUISHER AT EACH STAIRWAY ON ALL FLOOR LEVELS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED.
- VSFPC 3310.1 - REQUIRED VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES. VEHICLE ACCESS SHALL BE PROVIDED TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS, CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. VEHICLE ACCESS SHALL BE MAINTAINED UNTIL PERMANENT FIRE APPARATUS ACCESS ROADS ARE AVAILABLE.



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YOUR VISION ACHIEVED THROUGH US.

ASSOCIATION



2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

2117 IVY ROAD FINAL SITE PLAN

REVISION HISTORY

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4

APPROVAL

DESIGN SEAL



SCALE: AS NOTED ON THE DRAWING. SEE ALSO THE GENERAL DRAWING ONLY. THE DIMENSION OF DIMENSIONS ARE IN FEET.

SHEET NAME

NOTES & DETAILS

JOB NUMBER: 54985

C1.0
NOT FOR CONSTRUCTION

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INDICATES CHANNEL WHERE WIRE MESH REINFORCEMENT IS NOT REQUIRED.

CONC. THICKNESS	D	SQUARE YARDS PER LIN. FT. OF PAVED CHANNEL									
		1	2	3	4	5	6	7	8	9	10
4"	1	2.257	0.538	0.448	0.358	0.270	0.187	1.029	1.333	1.64	1.952
	2	2.052	0.501	0.412	0.322	0.234	0.151	1.004	1.308	1.616	1.929
	3	1.924	0.465	0.376	0.286	0.198	0.115	0.985	1.289	1.597	1.911
	4	1.781	0.431	0.342	0.252	0.164	0.081	0.966	1.270	1.578	1.892
	5	1.627	0.397	0.308	0.218	0.130	0.047	0.947	1.251	1.559	1.873
	6	1.465	0.363	0.274	0.184	0.096	0.024	0.928	1.223	1.531	1.845
	7	1.297	0.329	0.240	0.150	0.062	0.001	0.909	1.195	1.503	1.817
	8	1.127	0.295	0.206	0.116	0.024	0.000	0.890	1.167	1.475	1.789
	9	0.957	0.261	0.172	0.082	0.000	0.000	0.871	1.139	1.447	1.761
	10	0.787	0.227	0.138	0.042	0.000	0.000	0.852	1.111	1.419	1.733
6"	1	2.507	0.533	0.443	0.353	0.265	0.182	1.039	1.343	1.651	1.962
	2	2.302	0.496	0.406	0.316	0.228	0.145	1.020	1.324	1.632	1.943
	3	2.169	0.460	0.370	0.280	0.192	0.109	1.001	1.305	1.613	1.924
	4	2.026	0.424	0.334	0.244	0.154	0.075	0.982	1.286	1.594	1.905
	5	1.873	0.388	0.298	0.208	0.104	0.025	0.963	1.267	1.575	1.886
	6	1.710	0.352	0.262	0.172	0.074	0.004	0.944	1.248	1.556	1.867
	7	1.547	0.316	0.226	0.136	0.034	0.000	0.925	1.229	1.537	1.848
	8	1.384	0.280	0.190	0.096	0.000	0.000	0.906	1.210	1.518	1.829
	9	1.221	0.244	0.154	0.050	0.000	0.000	0.887	1.191	1.499	1.810
	10	1.058	0.208	0.118	0.004	0.000	0.000	0.868	1.172	1.480	1.791
8"	1	2.757	0.537	0.447	0.357	0.269	0.186	1.049	1.353	1.661	1.972
	2	2.552	0.500	0.410	0.320	0.231	0.150	1.030	1.334	1.642	1.953
	3	2.419	0.464	0.374	0.284	0.194	0.110	1.011	1.315	1.623	1.934
	4	2.276	0.428	0.338	0.244	0.144	0.060	0.992	1.296	1.604	1.915
	5	2.123	0.392	0.302	0.204	0.094	0.020	0.973	1.277	1.585	1.896
	6	1.960	0.356	0.266	0.164	0.044	0.000	0.954	1.258	1.566	1.877
	7	1.797	0.320	0.230	0.124	0.014	0.000	0.935	1.239	1.547	1.858
	8	1.634	0.284	0.194	0.064	0.000	0.000	0.916	1.220	1.528	1.839
	9	1.471	0.248	0.158	0.014	0.000	0.000	0.897	1.201	1.509	1.820
	10	1.308	0.212	0.122	0.000	0.000	0.000	0.878	1.182	1.490	1.801

NOTES:
 DEPTH (D) AND WIDTH (W) TO BE AS SHOWN ON PLANS.
 WEED HOLE AND 10" TO BE PROVIDED ON ALL CHANNELS WHERE W IS EQUAL TO OR GREATER THAN 10".
 WEED HOLE WITH 2" OF PLASTIC WATERWEAVE CLOTH 4" WIDE OR GALVANIZED STEEL WIRE MESH SHALL BE PROVIDED IN EACH CHANNEL WHERE W IS GREATER THAN 10".
 * 4" X 8" SPACING SHALL BE USED AT ALL JOINTS.



STANDARD PAVED DITCHES

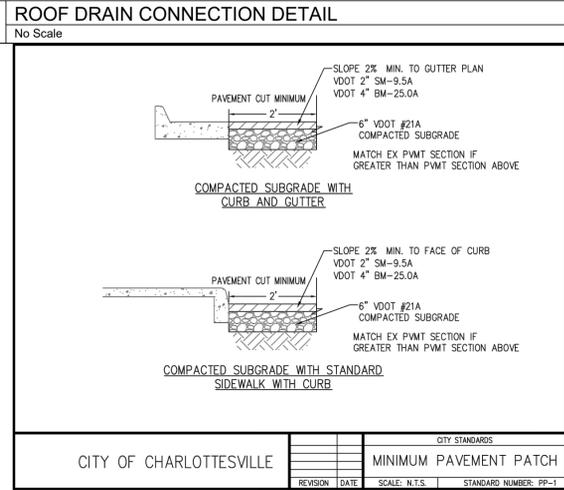
ROAD AND BRIDGE STANDARDS SHEET 1 OF 1 REVISION DATE 05/04

SPECIFICATION REFERENCE 302

TYPICAL PRECAST UNIT

NOTES:
 1. STANDARD SAFETY SLAB SHALL BE PROVIDED AS PART OF THE DRAINAGE DESIGN FOR MANHOLES, JUNCTION BOXES AND DROP INLETS WITH DEPTHS GREATER THAN 10 FEET. THE BOTTOM OF ALL MANHOLES SHALL BE 10 FEET TO THE SLAB AND NO SAFETY SLAB LOCATED WITHIN 6 FEET OF THE TOP OR BOTTOM OF THE STRUCTURE.
 2. THE COST OF THE SLAB IS INCLUDED IN THE STRUCTURE. THE DRAINAGE DESIGNER SHALL BE RESPONSIBLE FOR PROVIDING THE SAFETY SLAB. THE SAFETY SLAB SHALL BE CAST IN PLACE OR PRECAST. THE SAFETY SLAB SHALL BE CAST IN PLACE OR PRECAST. THE SAFETY SLAB SHALL BE CAST IN PLACE OR PRECAST. THE SAFETY SLAB SHALL BE CAST IN PLACE OR PRECAST.
 3. ACCESS OPENINGS ARE TO BE STAGGERED FROM ONE SIDE OF STRUCTURE TO THE OTHER WHERE APPLICABLE. STAGGERING SHALL BE ACCORDING TO THE SPECIFICATIONS.
 4. SAFETY SLAB MAY BE CAST IN PLACE OR PRECAST. CONCRETE SHALL BE CLASS AS 2500 PSI. PRECAST CONCRETE IS TO BE AN 1800 PSI. REINFORCING STEEL IS TO BE IN ACCORDANCE WITH AASHTO M31.
 5. ACCESS OPENINGS MAY BE 30" DIAMETER OR 30" SQUARE. WHEN STRUCTURE WIDTH IS LESS THAN 30" THE ACCESS OPENING SHALL BE RECTANGULAR STRUCTURE WITH BY 30" LONG.

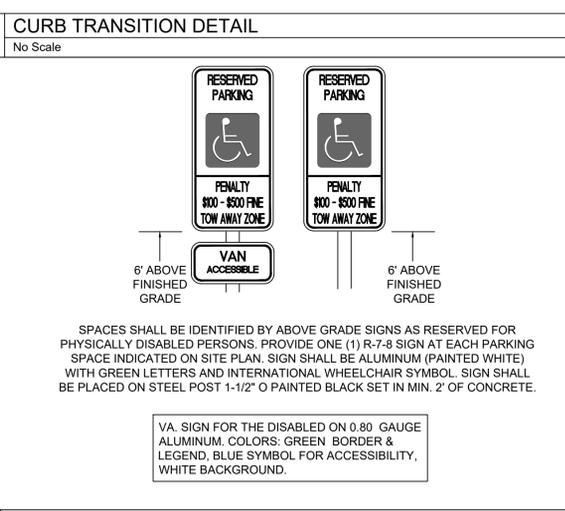
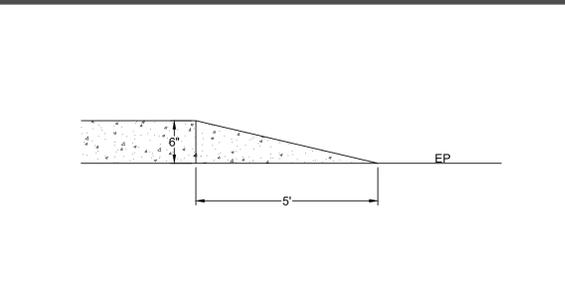
- DOWNSPOUT COLLECTOR NOTES:
- CONNECT ALL BUILDING DOWNSPOUTS INTO THE ROOF DRAIN COLLECTOR SYSTEM OR DIRECTLY INTO THE STORM SEWER SYSTEM.
 - THE ROOF DRAIN COLLECTOR SYSTEM SHALL BE SMOOTH-LINED, CORRUGATED POLYETHYLENE PIPE LAID AT A MINIMUM SLOPE OF 1.04%.
 - PIPES CONNECTING TO INDIVIDUAL DOWNSPOUTS SHALL BE 6" ALL OTHER DRAIN PIPES SHALL BE SIZED AS INDICATED.
 - PROVIDE CLEANOUTS AS INDICATED OR AS REQUIRED BY LOCAL BUILDING CODE. AND PROVIDE CLEANOUTS AFTER EACH DOWNSPOUT CONNECTION.
 - MAKE CONNECTIONS INTO CONCRETE PIPES WITH A FLEXIBLE WATERTIGHT TEE CONNECTOR THAT IS MECHANICALLY EXPANDED INTO A CORDED OPENING. CONNECTOR TO BE KOR-N-TEE OR APPROVED EQUIV.
 - MAINTAIN ADEQUATE OUTFALL FOR ROOF DRAIN DURING AND AFTER THE COMPLETION OF CONSTRUCTION.
 - 18" YARD INLETS SHALL BE ADS PRODUCT 2818AG WITH CAST IRON TOP OR APPROVED EQUIVALENT.
 - FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.
 - A WATERTIGHT CONNECTION SHALL BE MAINTAINED AT ALL PIPE CONNECTIONS BELOW GRADE.
 - THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITE WORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS OF DOWNSPOUTS ON BUILDING EXTERIOR WALLS.



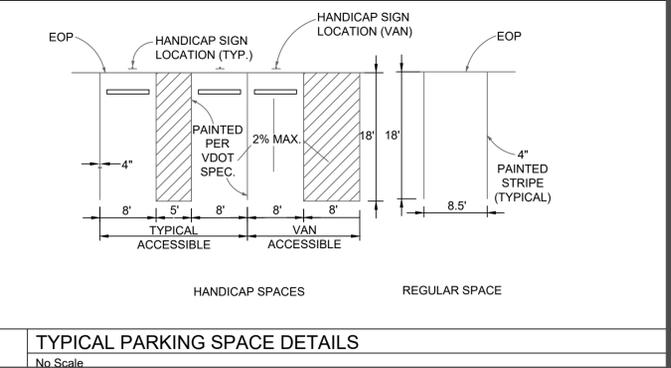
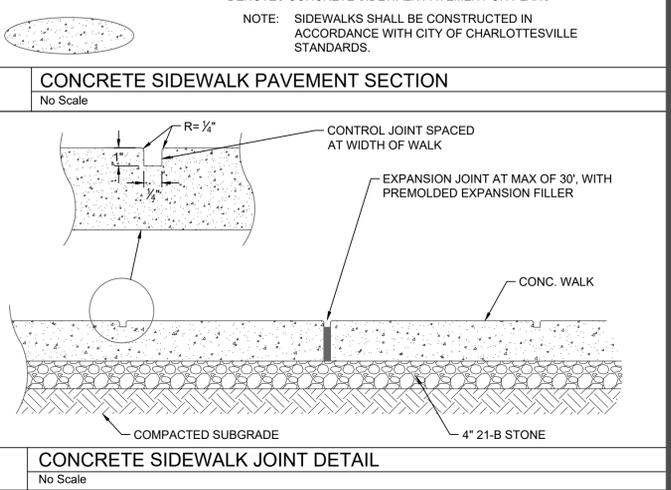
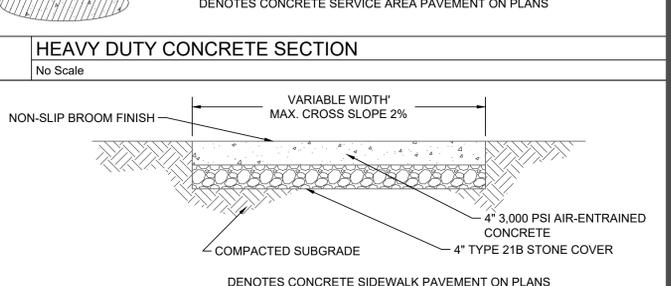
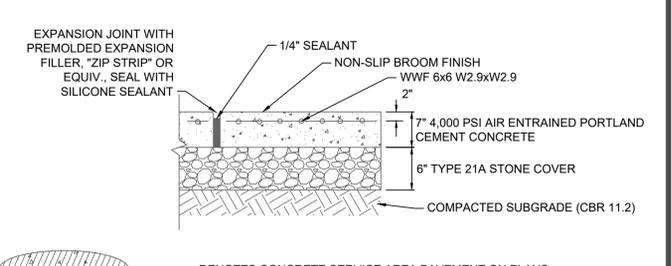
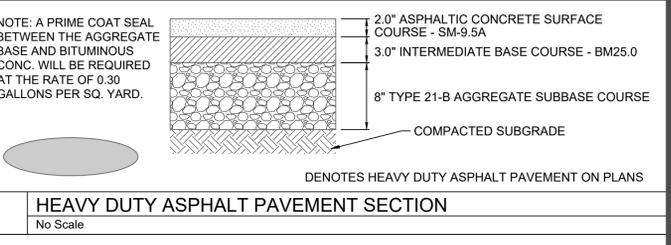
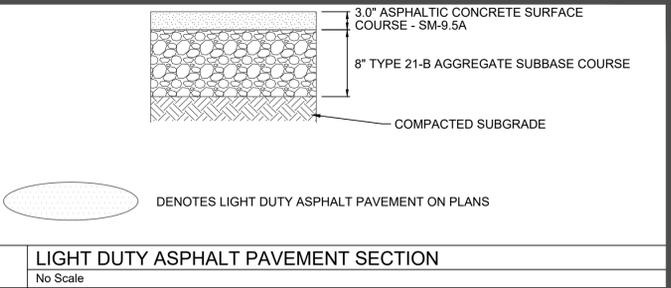
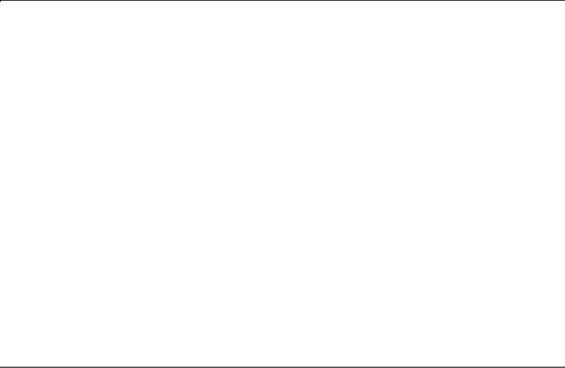
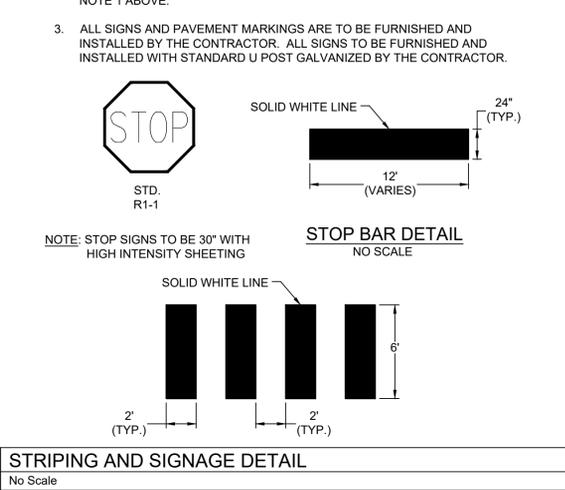
CITY OF CHARLOTTESVILLE

MINIMUM PAVEMENT PATCH

REVISION DATE SCALE: N.T.S. STANDARD NUMBER: PP-1



- PARKING SIGNS FOR THE DISABLED
- NO SCALE
- SIGNAGE NOTES:
- ALL SIGNING AND PAVEMENT MARKING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF EACH OF THE FOLLOWING AND ANY REVISION THERE TO:
 A. MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 B. THE VIRGINIA SUPPLEMENT TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 C. THE VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS.
 D. THE 2000 INTERNATIONAL FIRE CODE.
 - SIGN LOCATIONS ARE APPROXIMATE AND ARE TO BE MODIFIED IN THE FIELD TO AVOID CONFLICT WITH UNDERGROUND UTILITIES OR OTHER CONSTRUCTIONS, AND TO COMPLY WITH STANDARDS REFERENCED IN NOTE 1 ABOVE.
 - ALL SIGNS AND PAVEMENT MARKINGS ARE TO BE FURNISHED AND INSTALLED BY THE CONTRACTOR. ALL SIGNS TO BE FURNISHED AND INSTALLED WITH STANDARD U POST GALVANIZED BY THE CONTRACTOR.



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TIMMONS GROUP
 YOUR VISION ACHIEVED THROUGH OURS.



2117 IVY ROAD FINAL SITE PLAN
 2117 IVY ROAD
 CHARLOTTESVILLE, VA 22903

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4

DATE	DESCRIPTION	BY

PROFESSIONAL SEAL

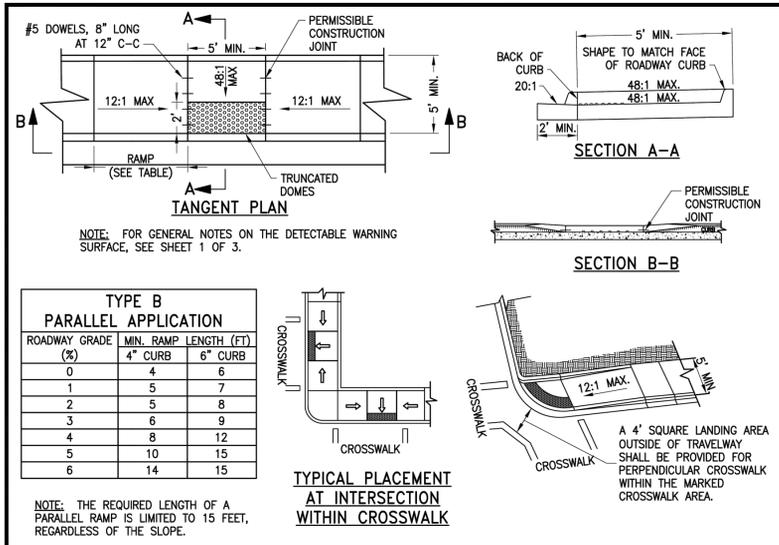


NOTES & DETAILS

JOB NUMBER: 54985

C1.1
 NOT FOR CONSTRUCTION

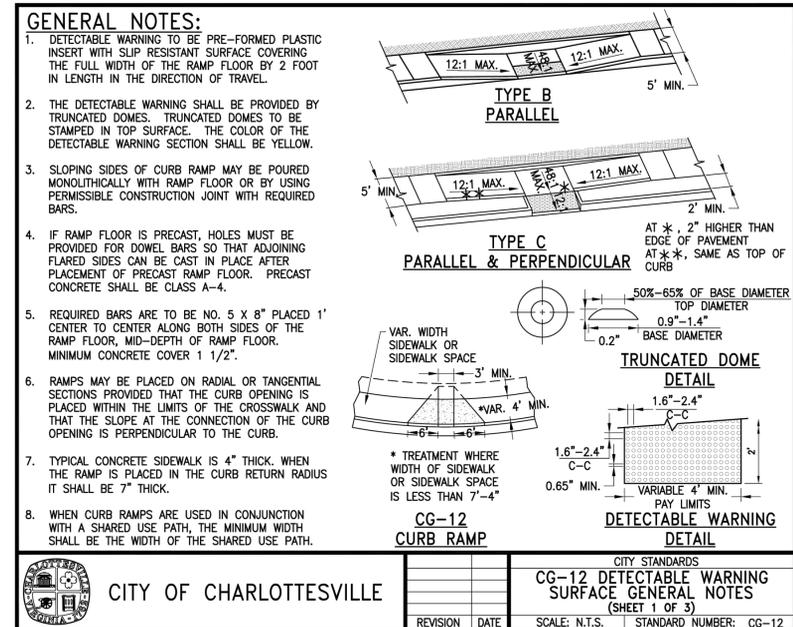
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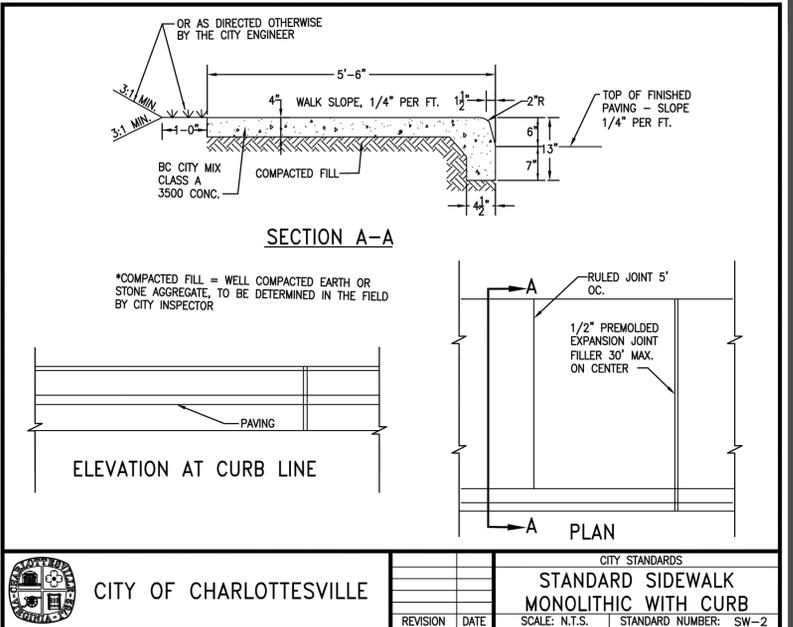
TYPE B PARALLEL APPLICATION		
ROADWAY GRADE (%)	MIN. RAMP LENGTH (FT)	
0	4	6
1	5	7
2	5	8
3	6	9
4	8	12
5	10	15
6	14	15

NOTE: THE REQUIRED LENGTH OF A PARALLEL RAMP IS LIMITED TO 15 FEET, REGARDLESS OF THE SLOPE.

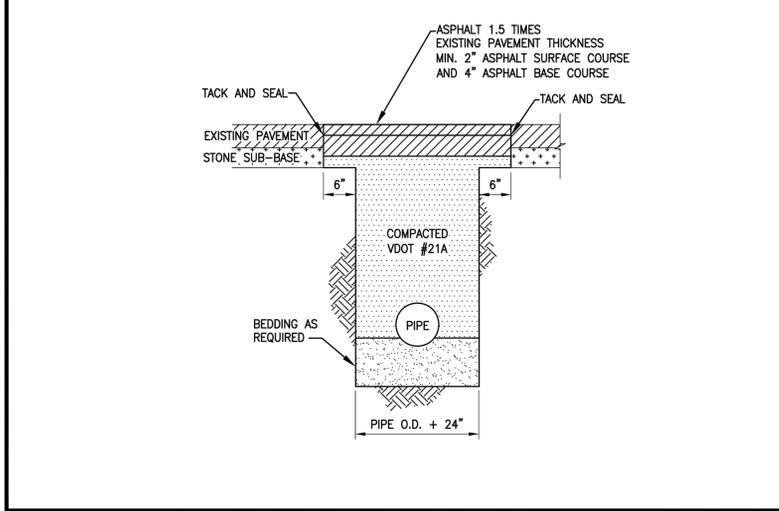
CITY OF CHARLOTTESVILLE		CITY STANDARDS	
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: CG-12



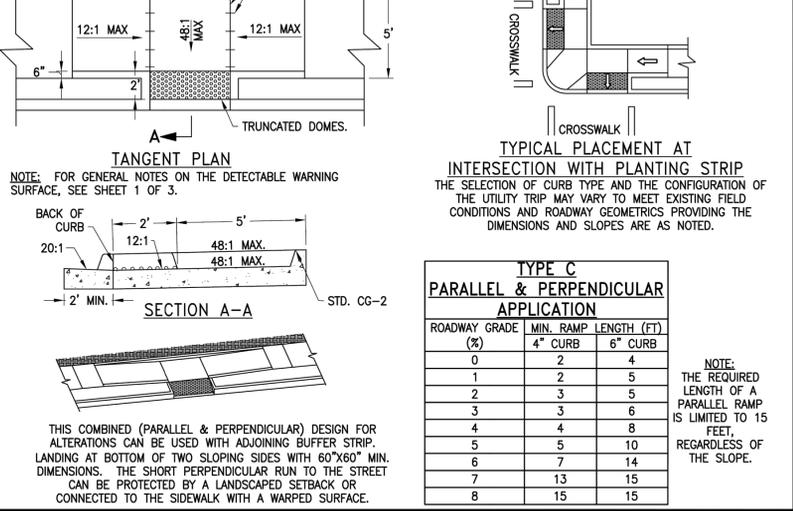
CITY OF CHARLOTTESVILLE		CITY STANDARDS	
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: CG-12



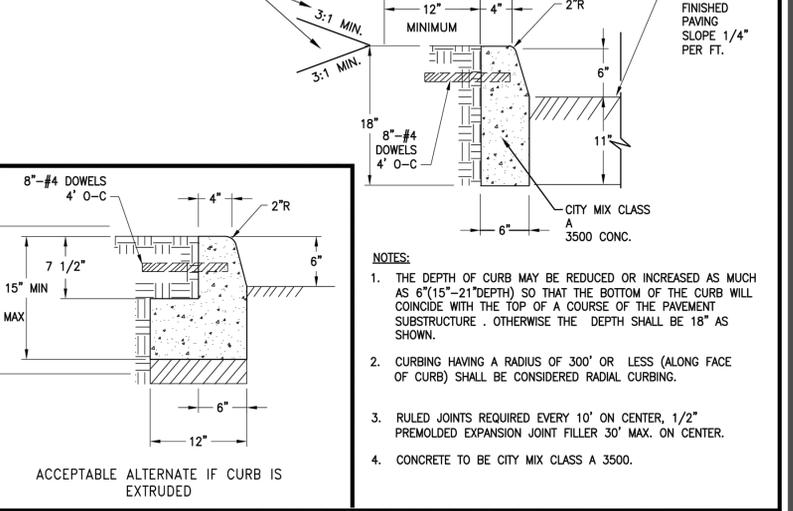
CITY OF CHARLOTTESVILLE		CITY STANDARDS	
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: SW-2



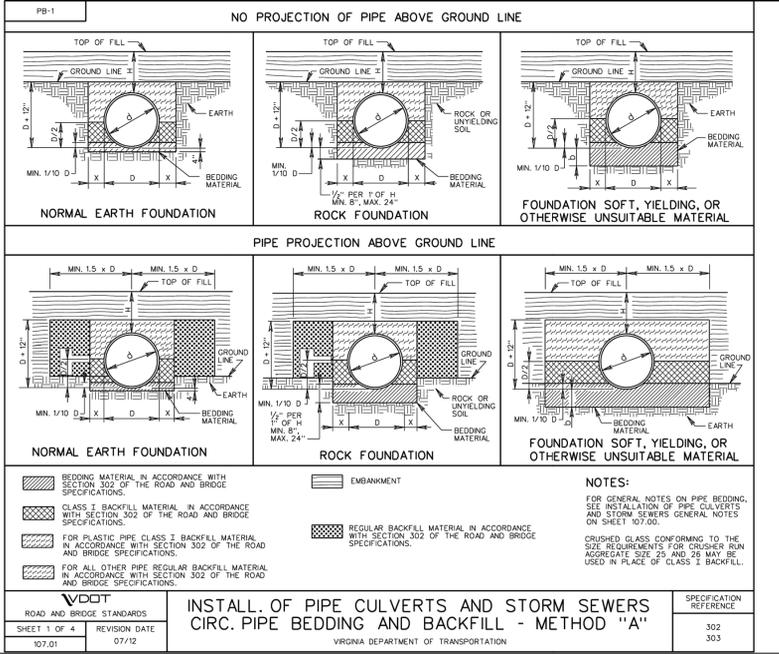
CITY OF CHARLOTTESVILLE		CITY STANDARDS	
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: PR-1



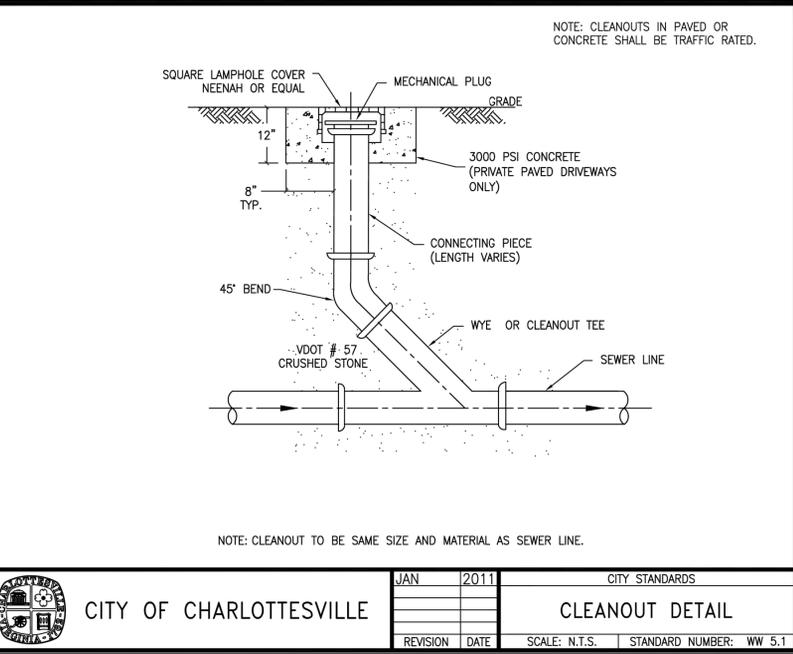
CITY OF CHARLOTTESVILLE		CITY STANDARDS	
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: CG-12



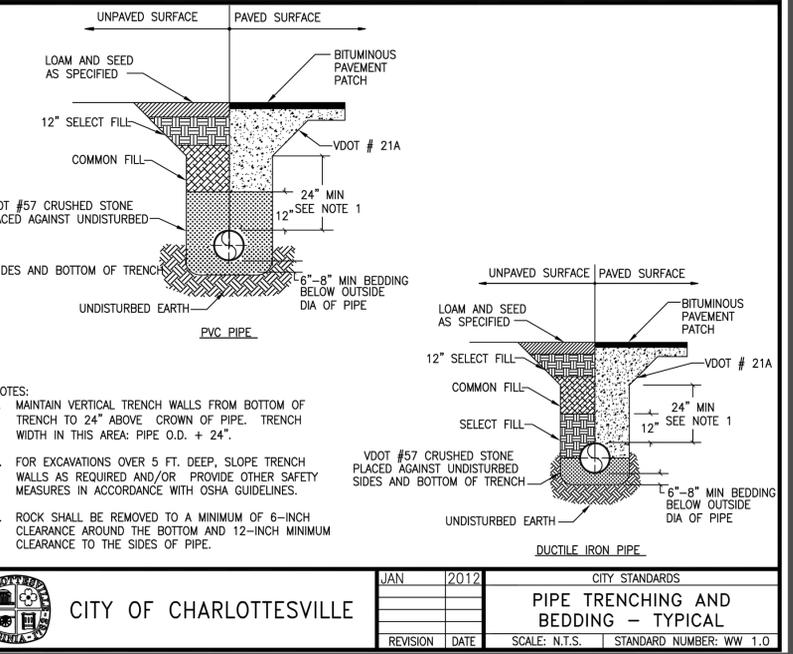
CITY OF CHARLOTTESVILLE		CITY STANDARDS	
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: CG-2



CITY OF CHARLOTTESVILLE		CITY STANDARDS	
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: WW 5.1



CITY OF CHARLOTTESVILLE		CITY STANDARDS	
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: WW 1.0



CITY OF CHARLOTTESVILLE		CITY STANDARDS	
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: WW 1.0



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2117 IVY ROAD FINAL SITE PLAN
2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4



NOTES & DETAILS

JOB NUMBER: 54985

C1.2
NOT FOR CONSTRUCTION

REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: W 2.1
3/13/2024	CITY SUBMISSION	1	
5/29/2024	CITY COMMENTS	2	
8/23/2024	CITY COMMENTS	3	
9/20/2024	CITY COMMENTS	4	



NOTES:
1. IN REMOTE AREAS, VALVE BOXES SHALL EXTEND SIX (6) INCHES ABOVE GRADE.
2. USE RESTRAINED JOINTS IN BOTH DIRECTIONS IN ACCORDANCE WITH DETAIL W2.4.

NOTES & DETAILS

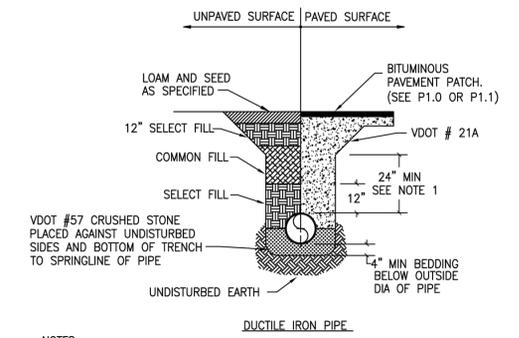
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C1.3
NOT FOR CONSTRUCTION

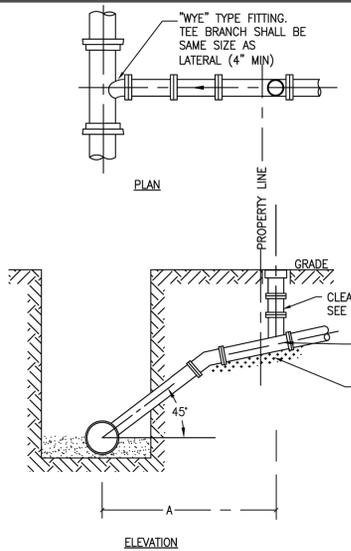
PIPE SIZE	DEGREE OF BEND	BEND (FT)			MIN. PIPE COVER (FT)	TEE AND PLUG (FT)			MIN. PIPE COVER (FT)
		L	H	T		L	H	T	
4" & 6"	90	3.00	2.50	3.01	3	2.00	2.30	2.50	3
	45	2.00	2.30	2.60					
	22 1/2	1.50	2.00	2.50					
	11 1/4	1.50	2.00	2.50					
8" & 10"	90	4.50	3.50	3.20	3	3.20	3.00	3.00	3
	45	3.00	2.70	2.80					
	22 1/2	2.00	2.00	2.70					
	11 1/4	1.70	2.00	2.70					
12" & 14"	90	7.30	4.00	3.60	4	4.30	4.00	2.80	4
	45	4.50	3.60	3.00					
	22 1/2	3.30	2.60	2.90					
	11 1/4	1.80	2.30	2.90					
16" & 18"	90	10.70	4.50	3.40	5	6.30	4.60	3.80	5
	45	6.50	4.00	3.00					
	22 1/2	4.50	3.30	3.00					
	11 1/4	2.80	2.70	3.00					

REFERENCE DRAWING 2.0 FOR DIMENSION LOCATIONS

- NOTES:
1. MAXIMUM TEST PRESSURE: 225 PSI.
 2. MINIMUM ALLOWABLE SOIL BEARING PRESSURE: 2000 PSF.
 3. USE MINIMUM 3000 P.S.I. CONCRETE.
 4. THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR VERIFICATION OF ADEQUACY OF ALL THRUST BLOCKS.



- NOTES:
1. MAINTAIN VERTICAL TRENCH WALLS FROM BOTTOM OF TRENCH TO 24" ABOVE CROWN OF PIPE. TRENCH WIDTH IN THIS AREA: PIPE O.D. + 24".
 2. FOR EXCAVATIONS OVER 5 FT. DEEP, SLOPE TRENCH WALLS AS REQUIRED AND/OR PROVIDE OTHER SAFETY MEASURES IN ACCORDANCE WITH OSHA GUIDELINES.
 3. ROCK SHALL BE REMOVED TO A MINIMUM OF 6-INCH CLEARANCE AROUND THE BOTTOM AND 12-INCH MINIMUM CLEARANCE TO THE SIDES OF PIPE.



- NOTES:
1. USE DUCTILE IRON PIPE FROM SEWER MAIN TO CLEANOUT IF LESS THAN 3.5 FT. COVER EXISTS.
 2. SEWER LATERAL TAPPED INTO EXISTING SEWER MAIN SHALL BE CONNECTED USING A ROMAC PIPE SADDLE (STYLE SB) OR APPROVED EQUAL. ALL TAPS SHALL BE CORE-DRILLED.
 3. LATERAL SHALL NOT PROTRUDE INTO SEWER MAIN.
 4. WHERE THE DISTANCE "A" IS SUCH THAT MORE THAN ONE PIPE JOINT IS REQUIRED AND THE PIPE SLOPE EXCEEDS 20% CONTRACTOR SHALL PROVIDE ANCHORAGE IN ACCORDANCE WITH DRAWING WW 6.0.
 5. SEWER LATERAL CONNECTIONS INTO EXISTING MANHOLES SHALL BE IN ACCORDANCE WITH DETAIL DRAWINGS WW 2.0, WW 2.1, WW 2.2, OR WW 2.3 AS APPLICABLE.
 6. IF MAIN LINE IS LINED, SEE DETAIL WW 5.2.

REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: WW 5.0
	JAN 2011		CITY STANDARDS

CITY OF CHARLOTTESVILLE

SEWER LATERAL CONNECTION - TYPICAL

REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: W 1.0
	FEB 2012		CITY STANDARDS

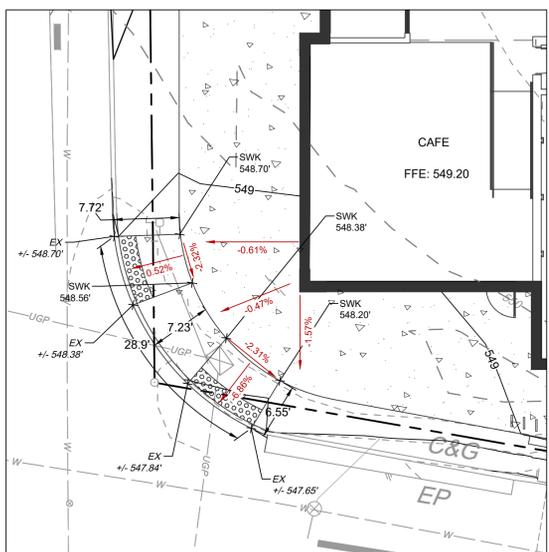
CITY OF CHARLOTTESVILLE

PIPE TRENCH UNIVERSAL STANDARD SUBGRADE - TYPICAL

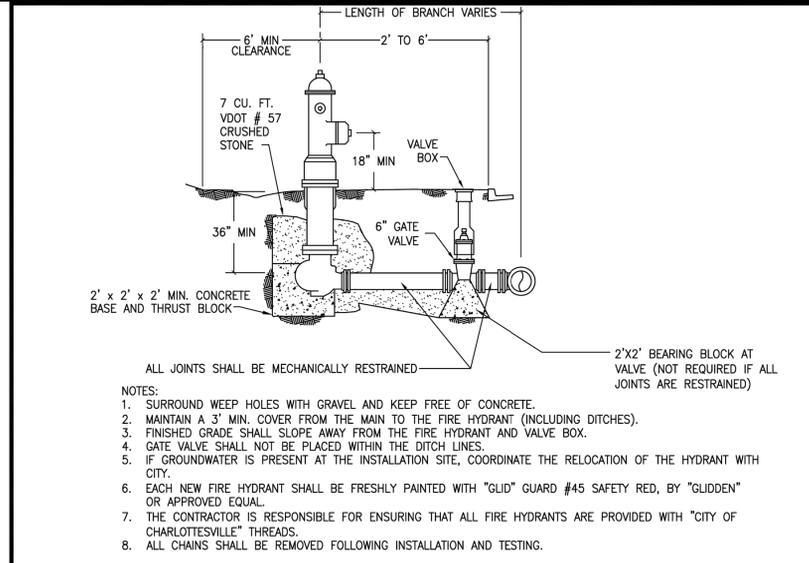
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: W 2.1
	JULY 2011		CITY STANDARDS

CITY OF CHARLOTTESVILLE

CONCRETE THRUST BLOCK DIMENSIONS



**ACCESSIBLE RAMP
IVY & COPELEY ROAD INTERSECTION**



- NOTES:
1. SURROUND WEEP HOLES WITH GRAVEL AND KEEP FREE OF CONCRETE.
 2. MAINTAIN A 3" MIN. COVER FROM THE MAIN TO THE FIRE HYDRANT (INCLUDING DITCHES).
 3. FINISHED GRADE SHALL SLOPE AWAY FROM THE FIRE HYDRANT AND VALVE BOX.
 4. GATE VALVE SHALL NOT BE PLACED WITHIN THE DITCH LINES.
 5. IF GROUNDWATER IS PRESENT AT THE INSTALLATION SITE, COORDINATE THE RELOCATION OF THE HYDRANT WITH CITY.
 6. EACH NEW FIRE HYDRANT SHALL BE FRESHLY PAINTED WITH "GLID" GUARD #45 SAFETY RED, BY "GLIDDEN" OR APPROVED EQUAL.
 7. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL FIRE HYDRANTS ARE PROVIDED WITH "CITY OF CHARLOTTESVILLE" THREADS.
 8. ALL CHAINS SHALL BE REMOVED FOLLOWING INSTALLATION AND TESTING.

REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: W 3.0
	JAN 2012		CITY STANDARDS

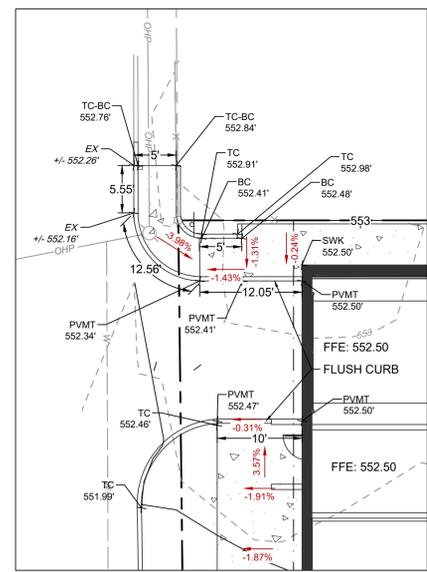
CITY OF CHARLOTTESVILLE

FIRE HYDRANT - TYPICAL

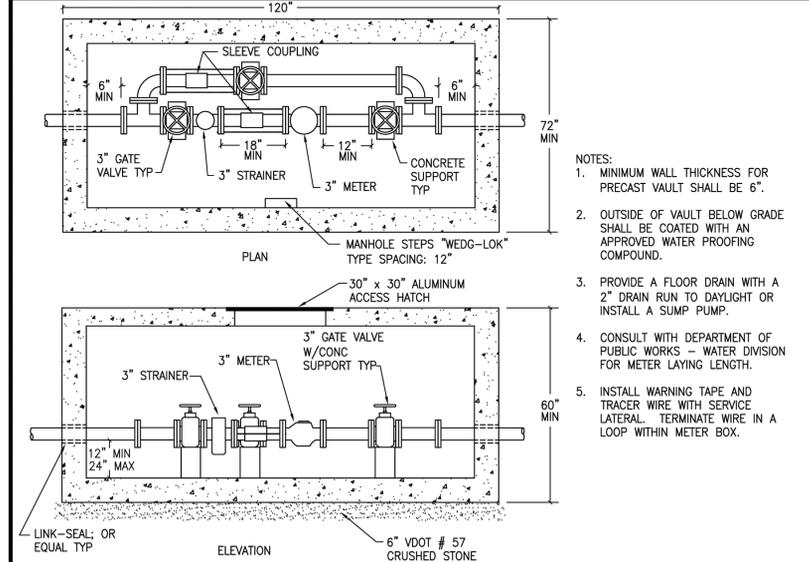
REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: W 2.0
	JULY 2011		CITY STANDARDS

CITY OF CHARLOTTESVILLE

CONCRETE THRUST BLOCKS



**ACCESSIBLE RAMP
IVY ROAD**



- NOTES:
1. MINIMUM WALL THICKNESS FOR PRECAST VAULT SHALL BE 6".
 2. OUTSIDE OF VAULT BELOW GRADE SHALL BE COATED WITH AN APPROVED WATER PROOFING COMPOUND.
 3. PROVIDE A FLOOR DRAIN WITH A 2" DRAIN RUN TO DAYLIGHT OR INSTALL A SUMP PUMP.
 4. CONSULT WITH DEPARTMENT OF PUBLIC WORKS - WATER DIVISION FOR METER LAYING LENGTH.
 5. INSTALL WARNING TAPE AND TRACER WIRE WITH SERVICE LATERAL. TERMINATE WIRE IN A LOOP WITHIN METER BOX.

REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: W 6.3
	JULY 2011		CITY STANDARDS

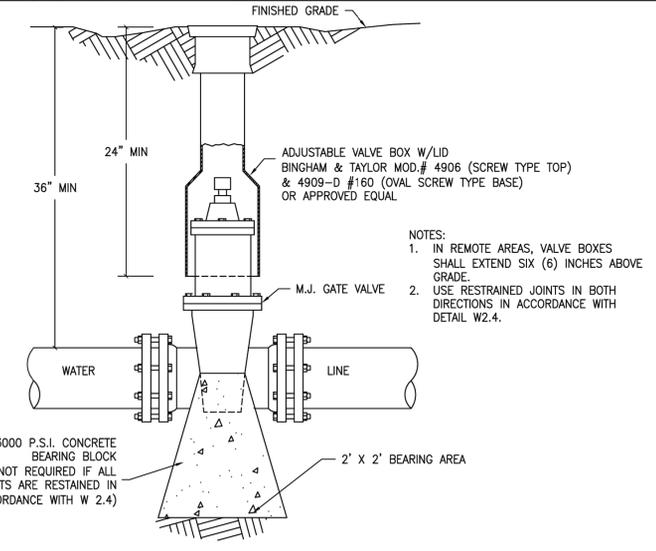
CITY OF CHARLOTTESVILLE

METER VAULT - 3" METER

REVISION	DATE	SCALE: N.T.S.	STANDARD NUMBER: W 4.0
	JULY 2011		CITY STANDARDS

CITY OF CHARLOTTESVILLE

GATE VALVE - TYPICAL



PROFFER STATEMENT

Project Name: **2117 Ivy Road**

Date: December 19, 2023

Address: 2117 Ivy Road
Parcel Number: 070001200

Owner of Record: **RMD Properties, LLC** (the "Owner" and "Applicant")

Proposal:

- Rezone 2117 Ivy Road, parcel 070001200 (1.02 acres) (the "Property"), from Urban Corridor (URB) district to Planned Unit Development (PUD) district with proffers (the "Project")

Total land area: Approximately 1.02 acres

The Applicant hereby voluntarily proffers that if the City of Charlottesville City Council acts to rezone the property as requested, the Applicant shall develop the Property in general accord with the following proffers pursuant to Sections 15.2-2303 and 15.2-2303.4 of the Code of Virginia, 1950, as amended, and pursuant to Section 34-41.d.8 of the City of Charlottesville Zoning Ordinance. The Applicant specifically deems the following proffers reasonable and appropriate, as conclusively evidenced by the signatures below. This Proffer Statement shall run with the Property and each reference to the "Owner" within this Proffer Statement shall include within its meaning, and shall be binding upon, Owner's successor(s) in interest and/or the developer(s) of the Property or any portion of the Property.

1. Affordable Housing

The Project is proposed to be student housing rented by the bedroom. The Applicant shall make a cash contribution to the City's affordable housing fund in the amount equal to Three Million, Two Hundred Fifty Thousand Dollars (\$3,250,000), provided that the approved final site plan and approved building permit will permit a minimum of Six Hundred Thirty-Four (634) bedrooms. Otherwise, the amount will be equal to four and one-half (4 1/2) times that which would be required under City Code Section 34-12(d)(2) in effect as of the date of this Proffer Statement, based on the approved final site plan. Such cash contribution shall be delivered to the City prior to the issuance of the first Certificate of Occupancy for the Project.

2. PUD Application Plan

A. **Application Plan.** The Property is depicted on the plans entitled "2117 Ivy Road" dated May 15, 2023, last revised November 21, 2023, prepared by WDG Architecture and Timmons Group (the "Application Plan"). The Property will be developed in general accord with the essential elements of the Application Plan, as required by City Zoning Ordinance Section 34-518.

B. **Exhibit A.** Notwithstanding the provisions of paragraph 2A above, the Property frontage along Ivy Road shall be developed to reflect the following major elements as shown and noted on attached plans entitled

"PUD Exhibit A – Conceptual Building Section" dated December 12, 2023, prepared by Dwell Design Studio ("Exhibit A"), attached, subject to Entrance Corridor Review Board Approval:

- The green zone shall be a minimum of 8 feet in width.
- The sidewalk shall be a minimum of 10 feet in width.
- Floors 1-2 shall be recessed at least 2 feet from Ivy Road beyond that shown on the Application Plan.
- Floors 3-8 shall be recessed 4 feet from Ivy Road beyond that shown on the Application Plan.
- Floors 9-10 shall be recessed 2 feet beyond floors 3-8.
- The rooftop architectural trellis shall be recessed 10 feet from the top edge of floor 10.
- Street tree species will be coordinated with City staff, the Entrance Corridor Review Board, and the University.

With regard to any differences between the approved Application Plan and this proffer statement with Exhibit A, this proffer statement and Exhibit A shall govern.

- The Applicant shall submit a revised Application Plan incorporating the provisions of paragraph 2B within 30 days after City Council's action on the Application.

[SIGNATURE PAGE IMMEDIATELY FOLLOWS]

Signature Page for Proffer Statement for 2117 Ivy Road

OWNER and APPLICANT:

RMD Properties, LLC
a Virginia limited liability company

DocuSigned by:
Stephen G. Bus
8462609792040464

Printed Name: **Stephen G. Bus**

Title: **Authorized Signatory**

SIZING WATER SERVICE LINES AND METERS

CITY OF CHARLOTTESVILLE
Water Customer Data Sheet

Customer Up Charlottesville 2117 Ivy Owner, LLC Address 560 W Washington Blvd, Chicago, IL
Building Address 2117 Ivy Road, Charlottesville, VA Zip Code 22903
Subdivision Lot No. Blk. No.
Type of Occupancy Student Housing Apartments

Fixture	Fixture Value 60 psi	No. of Fixtures	Fixture Value
Bathtub	8	x	=
Bedpan Washers	10	x	=
Bidet	2	x	=
Dental Unit	2	x	=
Drinking Fountain - Public	2	x	=
Kitchen Sink	2.2	x 230	= 506
Lavatory	1.5	x 614	= 921
Showerhead (Shower Only)	2.5	x 614	= 1535
Service Sink	4	x	=
Toilet - Flush Valve	35	x	=
- Tank Type	4	x 614	= 2456
Urinal - Pedestal Flush Valve	35	x	=
- Wall Flush Valve	16	x	=
Wash Sink (Each Set of Faucets)	4	x	=
Dishwasher	2	x	=
Washing Machine	6	x 230	= 1380
Hose (50 ft Wash Down) - 1/2 in.	5	x	=
- 5/8 in.	9	x	=
- 3/4 in.	12	x 3	= 36
Combined Fixture Value Total			= 6834

Customer Peak Demand From Fig. 4-2 or 4-3 x Press. Factor 78 gpm * 1.25 = 97.5 gpm

Add Irrigation - 3 Sections* x 1.16 or 0.40+ 45 gpm * 1.16 = 52.2 gpm

- 3 Hose Bibs x Fixture Value x Press. Factor = 20 gpm

Added Fixed Load (5) = gpm

TOTAL FIXED DEMAND = 169.7 gpm

* 100 ft² area = 1 section
+ Spray Systems- Use 1.16; Rotary systems- Use 0.40

Domestic Water Meter = 3"
Domestic Water Service Pipe = 6"

Figure 4-5 Water customer data sheet

Source: AWWA M22 Sizing Water Service Lines and Meters (Jan. 2004)
Copyright 2004, American Water Works Association

28 SIZING WATER SERVICE LINES AND METERS

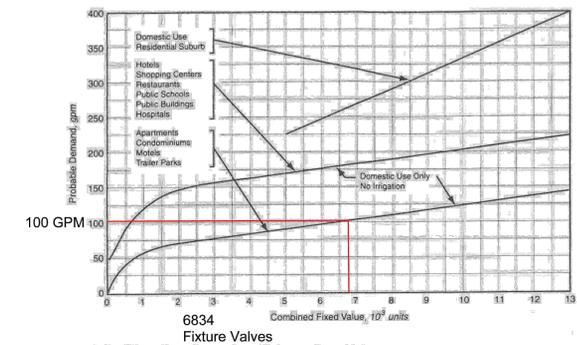


Figure 4-3 Water flow demand per fixture value—high range

Table 4-1 Pressure adjustment factors*

Working Pressure at Meter Discharge (psi)	Average Flow from 50 ft of 1/2-in. Hose and Sprinkler (gpm)	Pressure Adjustment Factor
35	6.7	0.74
40	7.2	0.80
50	8.1	0.90
60	9.0	1.00
70	9.8	1.09
80	10.5	1.17
90	11.2	1.25
100	12.1	1.34

*derived from Table 4-1 and 4-2 of Manual M22 (1975).

Note: To convert psi to kPa: psi x 6.89476; to convert gpm to m³/hr: gpm x 0.227.



3122 W MARSHALL ST
SUITE 200
RICHMOND, VA 23230
PHONE: 804.608.2774
dwelldesignstudio.com

CONSULT



YOUR VISION ACHIEVED THROUGH OURS.

ARCHITECTURE



2117 IVY ROAD FINAL SITE PLAN

2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

SUBMITTAL HISTORY

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4

PROFESSIONAL SEAL



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SHEET NAME

PROFFERS &
UTILITY
CALCULATIONS

JOB NUMBER: 54985

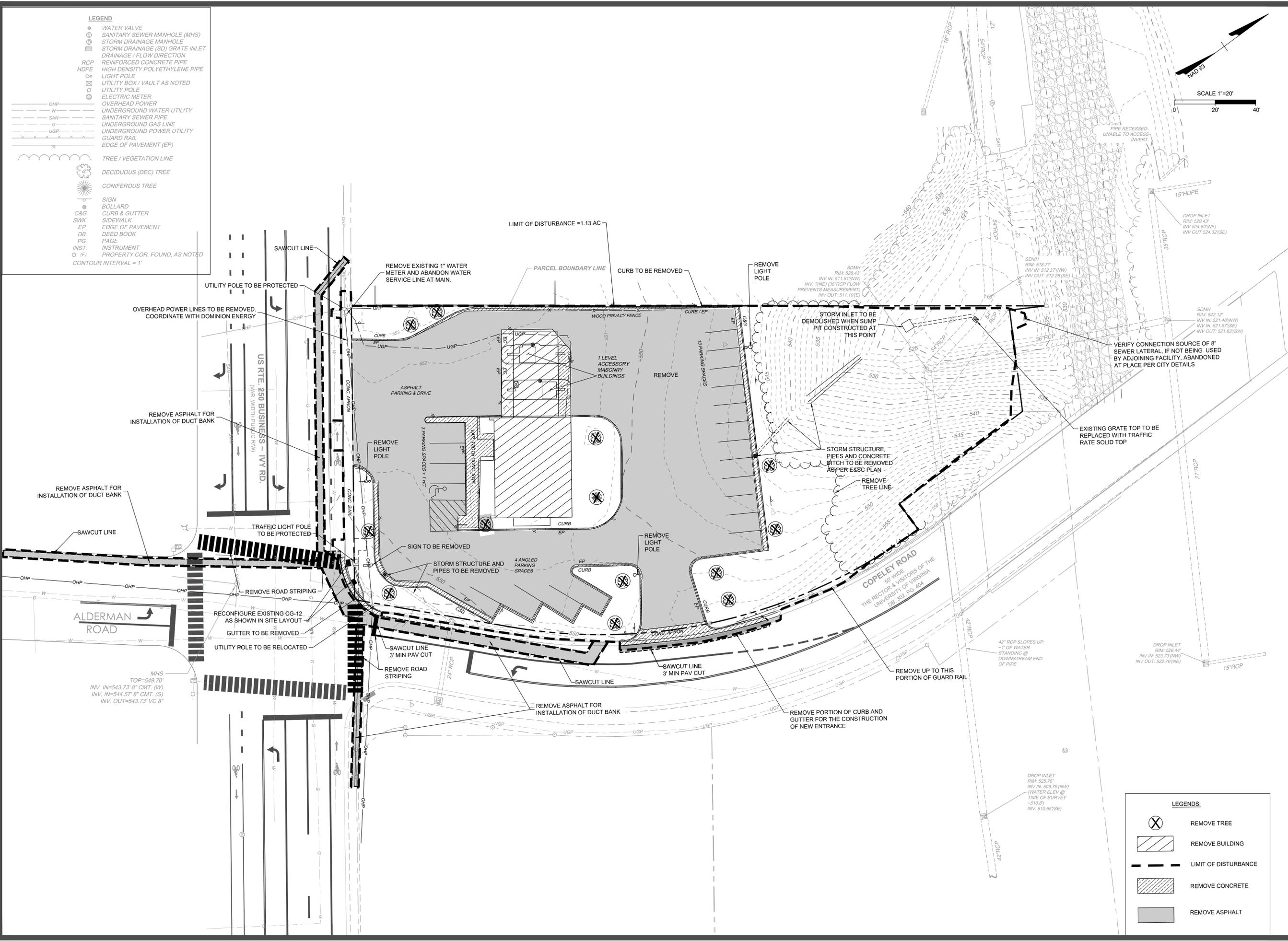
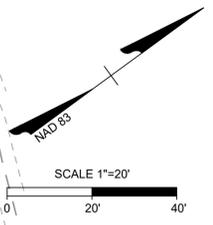
C1.4

NOT FOR CONSTRUCTION

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LEGEND

- WATER VALVE
- ⊙ SANITARY SEWER MANHOLE (MHS)
- ⊙ STORM DRAINAGE MANHOLE
- ⊙ STORM DRAINAGE (SD) GRATE INLET
- DRAINAGE / FLOW DIRECTION
- RCP REINFORCED CONCRETE PIPE
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- LIGHT POLE
- ⊙ UTILITY BOX / VAULT AS NOTED
- UTILITY POLE
- ELECTRIC METER
- OVERHEAD POWER
- UNDERGROUND WATER UTILITY
- SAN SANITARY SEWER PIPE
- G UNDERGROUND GAS LINE
- UGP UNDERGROUND POWER UTILITY
- GUARD RAIL
- EDGE OF PAVEMENT (EP)
- TREE / VEGETATION LINE
- DECIDUOUS (DEC) TREE
- CONIFEROUS TREE
- SIGN
- BOLLARD
- C&G CURB & GUTTER
- SWK SIDEWALK
- EP EDGE OF PAVEMENT
- DB DEED BOOK
- PG PAGE
- INST INSTRUMENT
- (F) PROPERTY COR. FOUND, AS NOTED
- CONTOUR INTERVAL = 1'



- LEGENDS:**
- ⊗ REMOVE TREE
 - ▨ REMOVE BUILDING
 - LIMIT OF DISTURBANCE
 - ▨ REMOVE CONCRETE
 - REMOVE ASPHALT



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2117 IVY ROAD FINAL SITE PLAN
 2117 IVY ROAD
 CHARLOTTESVILLE, VA 22903

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4



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DEMOLITION PLAN

JOB NUMBER: 54985

C2.1
NOT FOR CONSTRUCTION

EROSION AND SEDIMENT CONTROL NARRATIVE:

PROJECT DESCRIPTION

THIS PROJECT IS THE GRADING, UTILITIES, AND GENERAL SITE CONSTRUCTION FOR A PROPOSED MIXED-USE COMMERCIAL/MULTI-FAMILY RESIDENTIAL BUILDING AND STRUCTURED PARKING, WITH 10 STORIES ABOVE GRADE AND A BASEMENT BELOW THE GRADE. BASEMENT AND MOST OF THE FIRST FLOOR WILL BE USED AS PARKING GARAGE. THE E&S LIMITS OF DISTURBANCE IS 1.13 ACRES.

ADJACENT PROPERTY

THE SITE IS BOUNDED BY COPELEY ROAD AND IVY ROAD ON TO THE EAST AND SOUTH. CSX RAILROAD IS LOCATED TO THE NORTH, COMMERCIAL BUILDING AND A PARKING LOT ARE LOCATED TO THE WEST OF THE PROPERTY LINE.

EXISTING SITE CONDITIONS

THE SITE IS CURRENTLY PARTIALLY DEVELOPED WITH ONE-STORY BUILDING BEING USED AS BANK AND ASPHALT PARKING LOT. NORTH SIDE OF THE PROPERTY IS OPEN SPACE WITH TREES AND VEGETATION. THE SITE GENERALLY SLOPED TOWARDS THE NORTH. SLOPES VARY ACROSS THE SITE RANGING FROM 2% TO 60%.

OFF-SITE AREAS

PROJECT INCLUDES WORK WITHIN THE ADJACENT ROW. ANY OFFSITE LAND DISTURBING ACTIVITY MUST BE PERMITTED AND SHALL HAVE AN APPROVED EROSION CONTROL PLAN PRIOR TO ANY MATERIAL LEAVING OR ENTERING THE SITE. SITE WORK WILL REQUIRE EXPORT OF CUT MATERIAL, WHICH WILL ALSO BE TRANSPORTED TO A PERMITTED SITE.

CRITICAL EROSION AREAS

THERE ARE NO CRITICAL EROSION AREAS ON THIS SITE.

EROSION AND SEDIMENT CONTROL MEASURES

UNLESS OTHERWISE INDICATED, ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE CURRENT EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK. THE MINIMUM STANDARDS OF THE VESCH SHALL BE ADHERED TO UNLESS OTHERWISE WAIVED OR APPROVED BY A VARIANCE BY LOCAL AUTHORITIES HAVING JURISDICTION.

STORMWATER RUNOFF CONSIDERATIONS

STORMWATER RUNOFF WILL BE MANAGED BY COLLECTING ALL ROOF DRAIN INTO AN UNDERGROUND CONCRETE VAULT HAVING CAPACITY OF 100 YEAR STORM. WHICH WILL BE RELEASED IN A CONTROLLED MANNER TO EXISTING 60" CONCRETE PIPE . OFFSITE NUTRIENT CREDITS WILL BE PURCHASED FOR WATER QUALITY.

STRUCTURAL PRACTICES:

- 1. TEMPORARY CONSTRUCTION ENTRANCE - 3.02 A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT THE LOCATION INDICATED ON THE PLANS. IT IS IMPERATIVE THAT THIS MEASURE BE MAINTAINED THROUGHOUT CONSTRUCTION. ITS PURPOSE IS TO REDUCE THE AMOUNT OF MUD TRANSPORTED ONTO PAVED PUBLIC ROADS BY MOTOR VEHICLES OR RUNOFF.
2. SILT FENCE BARRIER - 3.05 SILT FENCE SEDIMENT BARRIERS SHALL BE INSTALLED DOWNSLOPE OF AREAS WITH MINIMAL GRADES TO FILTER SEDIMENT-LADEN RUNOFF FROM SHEET FLOW AS INDICATED. ITS PURPOSE IS TO INTERCEPT SMALL AMOUNTS OF SEDIMENT FROM DISTURBED AREAS AND PREVENT SEDIMENT FROM LEAVING THE SITE.
3. STORM DRAIN INLET PROTECTION - 3.07 STONE FILTERS SHALL BE PLACED AT THE INLET OF ALL DRAINAGE STRUCTURES AS INDICATED ON PLANS. ITS PURPOSE IS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAINAGE SYSTEM PRIOR TO PERMANENT STABILIZATION.
4. DIVERSION DIKE - 3.09 & 3.11 A RIDGE OF COMPACTED SOIL CONSTRUCTED AT THE TOP OR BASE OF A SLOPING DISTURBED AREA WHICH DIVERTS OFF-SITE RUNOFF AWAY FROM UNPROTECTED SLOPES AND DO A STABILIZED OUTLET, OR TO DIVERT SEDIMENT-LADEN RUNOFF TO A SEDIMENT TRAPPING STRUCTURE. MAXIMUM EFFECTIVE LIFE IS 18 MONTHS.
5. SEDIMENT TRAP - 3.13 A TEMPORARY BARRIER OR DAM WITH A CONTROLLED STORMWATER RELEASE TO DETAIN SEDIMENT-LADEN RUNOFF FROM DISTURBED AREAS IN "WET" AND "DRY" STORAGE LONG ENOUGH FOR THE MAJORITY OF THE SEDIMENT TO SETTLE OUT.
6. TEMPORARY SEEDING - 3.31 SHALL BE APPLIED TO DENUDED AREAS THAT WILL REMAIN UNDISTURBED FOR A PERIOD OF 14 DAYS OR LONGER, PLEASE CORRECT THIS FROM 30 DAYS UNDER THE 'TEMPORARY SEEDING' HEADER.
7. PERMANENT SEEDING - 3.32 MUST BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED.
8. DUST CONTROL - 3.39 DUST CONTROL IS TO BE USED THROUGH THE SITE IN AREAS SUBJECT TO SURFACE AND AIR MOVEMENT.

VEGETATIVE PRACTICES:

- 6. TOPSOIL (TEMPORARY STOCKPILE) - 3.30 TOPSOIL SHALL BE STRIPPED FROM AREAS TO BE GRADED AND STOCKPILED FOR LATER SPREADING. STOCKPILE LOCATIONS SHALL BE LOCATED ONSITE AND SHALL BE STABILIZED WITH TEMPORARY SILT FENCE AND VEGETATION.
7. TEMPORARY SEEDING - 3.31 ALL DENUDED AREAS WHICH WILL BE LEFT DORMANT FOR MORE THAN 14 DAYS SHALL BE SEEDED WITH FAST GERMINATING TEMPORARY VEGETATION IMMEDIATELY FOLLOWING GRADING OF THOSE AREAS. SELECTION OF THE SEED MIXTURE SHALL DEPEND ON THE TIME OF YEAR IT IS APPLIED.
8. PERMANENT SEEDING - 3.32 FOLLOWING GRADING ACTIVITIES, ESTABLISH PERENNIAL VEGETATIVE COVER BY PLANTING SEED TO REDUCE EROSION, STABILIZE DISTURBED AREAS, AND ENHANCE NATURAL BEAUTY. PERMANENT SEEDING MUST BE APPLIED WITHIN 7 DAYS AFTER FINAL GRADE IS REACHED.
9. SOIL STABILIZATION BLANKETS & MATTING - 3.36 A PROTECTIVE COVERING BLANKET OR SOIL STABILIZATION MAT SHALL BE INSTALLED ON PREPARED PLANTING AREAS OF CHANNELS TO PROTECT AND PROMOTE VEGETATION ESTABLISHMENT AND REINFORCE ESTABLISHED TURF.

MANAGEMENT STRATEGIES

- 1. PROVIDE SEDIMENT TRAPPING MEASURES AS A FIRST STEP IN GRADING, SEED AND MULCH IMMEDIATELY FOLLOWING INSTALLATION.
2. PROVIDE TEMPORARY SEEDING OR OTHER STABILIZATION IMMEDIATELY AFTER GRADING.
3. ISOLATE TRENCHING FOR UTILITIES AND DRAINAGE FROM DOWNSTREAM CONVEYANCES IN ORDER TO MINIMIZE PERIMETER CONTROLS.
4. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THEY ARE NO LONGER REQUIRED TO COMPLY WITH THE CONTRACT DOCUMENTS OR STATE LAW.

PERMANENT STABILIZATION

ALL NON-PAVED AREAS DISTURBED BY CONSTRUCTION SHALL BE STABILIZED WITH PERMANENT SEEDING IMMEDIATELY FOLLOWING FINISHED GRADING. SEEDING SHALL BE IN ACCORDANCE WITH STD. & SPEC. 3.32, PERMANENT SEEDING. SEED TYPE SHALL BE AS SPECIFIED FOR "MINIMUM CARE LAWNS" AND "GENERAL SLOPES" IN THE HANDBOOK FOR SLOPES LESS THAN 3:1. FOR SLOPES GREATER THAN 3:1, SEED TYPE SHALL BE AS SPECIFIED FOR "LOW MAINTENANCE SLOPES" IN TABLE 3.32-D OF THE HANDBOOK. FOR MULCH (STRAW OR FIBER) SHALL BE USED ON ALL SEEDED SURFACES. IN ALL SEEDING OPERATIONS SEED, FERTILIZER AND LIME SHALL BE APPLIED PRIOR TO MULCHING.

SEQUENCE OF INSTALLATION:

PHASE I - SHEET C3.03

- 1. A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE CITY OF CHARLOTTESVILLE E&S INSPECTOR, CONTRACTOR, OWNER, AND ENGINEER. THIS MEETING SHALL TAKE PLACE ON SITE.
2. PRIOR TO DEMOLITION BEGINNING, INSTALL SAFETY FENCE, INLET PROTECTION AND PERIMETER CONTROLS (SILT FENCE, SILT FENCE BREAK AND ANY DIVERSION).
3. INSTALL CONSTRUCTION ENTRANCE WASHRACK.
4. INSPECT SILT FENCE AND SEDIMENT TRAP DAILY TO ENSURE THAT IT IS FUNCTIONING PROPERLY. ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES MAY BE REQUESTED BY CITY INSPECTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF IS PREVENTED FROM LEAVING THE SITE.
5. INSTALL TEMPORARY SEDIMENT TRAP AS SHOWN ON SHEET C3.3. PROVIDE TEMPORARY SEEDING AND DUST CONTROL.
6. DEMOLISH EXISTING BUILDING AND REMOVE UTILITY LINES AS SHOWN IN DEMOLITION PLAN.
7. CONTRACTOR MAY CONTINUE TO NEXT PHASE AFTER PERMISSION GRANTED BY THE CITY E&S INSPECTOR.

PHASE II - SHEET C3.04

- 1. INSTALL ALL THE DIVERSIONS DIKES AND OTHER SHOWN PROTECTION MEASURES AS SHOWN ON SHEET C3.3.
2. INSTALL STRUCTURE # 100 PER DETAILS ON SHEET C5.0, C6.3, C7.0 AND PROVIDE INLET PROTECTION. PLACE A 10" STUB BENDING UP FOR FUTURE CONNECTION TO PIPE 101.
3. AFTER COMPLETE INSTALLATION OF STRUCTURE # 100, EXISTING STORMWATER INLET GRATE SHOULD BE CHANGED TO H-20 TRAFFIC RATED SOLID TOP.
4. INSTALL CONSTRUCTION ENTRANCE AND GRADE AS SHOWN.
5. GRADE SLOPE TO BENCHING LEVELS SHOWN FOR CONSTRUCTION OF SHOWN FOOTINGS.
6. PROVIDE AND PERFORM SOIL IMPROVEMENTS WITHIN THE BENCHES.
7. INSTALL AND MAINTAIN SHORING COORDINATE WITH GRADING SEQUENCE AS SHOWN, DESIGN BY OTHERS.
8. POUR CONCRETE FOOTINGS, PILE CAPS AND COLUMNS IF ANY IN AREA SHOWN.
9. FLOW/RUNOFF FROM BOTH THE BENCHES SHOULD BE DIRECTED TO NEWLY CONSTRUCTED INLET AS SHOWN.
10. INSTALL TEMPORARY SUMP PIT, PUMP, DE-WATERING STRUCTURE AND DRAIN DE-WATERING STRUCTURE TO NEW DRAINAGE INLET #100.
11. CONTINUE EXCAVATION IN REST OF THE SITE AS SHOWN.
12. INSTALL ST-1 ON THE LEFT SIDE OF THE SITE AS SHOWN ON PLAN.
13. AFTER ROUGH GRADING COMPLETION, STABILIZE DISTURBED AREAS WITH TEMPORARY SEEDING AND MULCHING.
14. INSPECT SILT FENCE AND SEDIMENT TRAP DAILY TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY. ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES MAY BE REQUESTED BY CITY INSPECTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF IS PREVENTED FROM LEAVING THE SITE.
15. CONTRACTOR MAY CONTINUE TO NEXT PHASE AFTER PERMISSION GRANTED BY THE CITY E&S INSPECTOR.

PHASE III - SHEET C3.05

- 1. GRADE SLOPE TO 528' BENCH FOR THE CONSTRUCTION OF STORM VAULT AT THE LOCATION SHOWN.
2. INSTALL STORM VAULT AND IT'S OUTFALL PIPE, CONNECT IT TO EXISTING MANHOLE. RAISE TOP OF EXISTING MANHOLE AS SHOWN ON STORM PLANS AND PROFILE. THAT RISER SHOULD BE HIGHER THAN ADJACENT GRADE ALL THE TIME TO PROTECT INLET FROM SEDIMENT LADEN/RUNOFF.
3. INSTALL 12" PVC STUBS FOR BUILDING FLOOR DRAINAGE AND STORMWATER PLUMBING NOT LOWER THAN 537'. PROVIDE TEMPORARY 90 DEGREE ELBOW TO TURN PIPE ABOVE THE GRADE DURING CONSTRUCTION.
4. GRADE LEFT SIDE OF THE SITE TO 539'.
5. INSTALL DRAIN SUMP PIT, PUMP AND CONNECT IT TO DE-WATERING STRUCTURE. DRAIN DE-WATERING STRUCTURE TO NEW DRAINAGE INLET #100.
6. PROVIDE AND PERFORM SOIL IMPROVEMENTS TO AREAS GRADED.
7. INSTALL, COORDINATE AND MAINTAIN SHORING AS SHOWN CONCURRENTLY WITH GRADING, DESIGN BY OTHERS.
8. STABILIZE DISTURBED AREAS WITH TEMPORARY SEEDING AND MULCHING.
9. FLOW/RUNOFF FROM THE BENCHES SHOULD BE DIRECTED TO INLET 100 AS SHOWN.
10. INSPECT SILT FENCE AND SEDIMENT TRAP DAILY TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY. ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES MAY BE REQUESTED BY CITY INSPECTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF IS PREVENTED FROM LEAVING THE SITE.
11. CONTRACTOR MAY CONTINUE TO NEXT PHASE AFTER PERMISSION GRANTED BY THE CITY E&S INSPECTOR.

PHASE IV - SHEET C3.06

- 1. CONTINUE EXCAVATION ON THE LEFT SIDE OF THE SITE FOR THE ELEVATOR PIT TO APPROXIMATE DEPTH OF 534', COORDINATE WITH OWNER FOR ACTUAL DEPTH.
2. PARTIALLY BACKFILL STORM VAULT AS SHOWN ON PLANS.
3. BENCH GRADE TO 531' AS SHOWN BESIDE VAULT FOR CONSTRUCTION OF FOOTINGS SHOWN.
4. POUR CONCRETE FOOTINGS, FOUNDATION WALLS, COLUMNS AND FOUNDATION RETAINING WALL IF ANY IN AREA SHOWN.
5. INSTALL AND PLACE STORMWATER STRUCTURE # 104, 102, PIPES # 103, 101 AND CONNECT IT TO INLET # 100 VIA STUBS PROVIDED AT PREVIOUS PHASE.
6. INSTALL DRAIN SUMP PIT, PUMP AND CONNECT IT TO DE-WATERING STRUCTURE. DRAIN DE-WATERING STRUCTURE TO NEW DRAINAGE INLET #100.

PHASE V - SHEET C3.07

- 1. GRADE BUILDING SUBGRADE TO 539.10' AS SHOWN.
2. POUR ELEVATOR PIT CONCRETE FOOTING AND WALLS.
3. BACKFILL ELEVATOR PIT AND WALLS.
4. INSTALL DRAIN SUMP PIT, PUMP AND CONNECT IT TO DE-WATERING STRUCTURE. DRAIN DE-WATERING STRUCTURE TO NEW DRAINAGE INLET #100.
5. POUR CONCRETE FOOTINGS, FOUNDATION WALLS, SHEAR WALLS AND COLUMNS AS SHOWN.
6. INSTALL PARTIAL SLAB STONE SUBBASE AND STRUCTURAL ELEVATED SLAB.
7. GRADE AND INSTALL CONCRETE DITCH ON PLAN NORTH PER DETAILS PROVIDED WITHIN PLANS.
8. AFTER GRADING COMPLETION ON PLAN NORTH AND EAST SIDES, STABILIZE DISTURBED AREAS WITH PERMANENT SEEDING AND MULCHING.
9. FLOW/RUNOFF SHOULD BE DIRECTED TO INLET 100 AS SHOWN.
10. INSPECT SILT FENCE AND SEDIMENT TRAP DAILY TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY. ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES MAY BE REQUESTED BY CITY INSPECTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF IS PREVENTED FROM LEAVING THE SITE.
11. CONTRACTOR MAY CONTINUE TO NEXT PHASE AFTER PERMISSION GRANTED BY THE CITY E&S INSPECTOR.

PHASE VI - SHEET C3.08

- 1. CONSTRUCT SIDEWALKS ALONG COPELEY ROAD AND IVY ROAD AS SHOWN ON SHEET C4.0.
2. INSTALL FOOTING, SLAB AND RETAINING WALL FOR GENERATOR.
3. REMOVE CONSTRUCTION ENTRANCE AND ADJUST SITE PERIMETER CONTROL MEASURES.
4. INSTALL REMAINING SHORING AFTER CONSTRUCTION ENTRANCE REMOVAL.
5. POUR CONCRETE FOOTINGS, FOUNDATION WALLS AND COLUMNS.
6. STABILIZE DISTURBED AREAS WITH SEEDING AND MULCHING.
7. INSTALL REMAINING SLAB STONE SUBBASE.
8. INSPECT SILT FENCE, DIVERSION DIKES AND SEDIMENT TRAP DAILY TO ENSURE THAT THEY ARE FUNCTIONING PROPERLY. ADDITIONAL MEASURES OR MODIFICATIONS TO EXISTING MEASURES MAY BE REQUESTED BY CITY INSPECTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF IS PREVENTED FROM LEAVING THE SITE.
9. AFTER CONSTRUCTION IS COMPLETE AND ALL CONTRIBUTING AREAS ARE STABILIZED TO THE SATISFACTION OF THE E&S INSPECTOR, EROSION AND SEDIMENT CONTROL MEASURES MAY BE REMOVED UPON THE APPROVAL FROM THE E&S INSPECTOR.

MINIMUM STANDARDS:

AN EROSION AND SEDIMENT CONTROL PROGRAM ADOPTED BY A DISTRICT OR LOCALITY MUST BE CONSISTENT WITH THE FOLLOWING CRITERIA, TECHNIQUES AND METHODS:

- MS-1. PERMANENT OR TEMPORARY SOIL STABILIZATION SHALL BE APPLIED TO DENUDED AREAS WITHIN SEVEN DAYS AFTER FINAL GRADE IS REACHED ON ANY PORTION OF THE SITE. TEMPORARY SOIL STABILIZATION SHALL BE APPLIED WITHIN SEVEN DAYS TO DENUDED AREAS THAT MAY NOT BE AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN 14 DAYS. PERMANENT STABILIZATION SHALL BE APPLIED TO AREAS THAT ARE TO BE LEFT DORMANT FOR MORE THAN ONE YEAR.
MS-2. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE APPLICANT IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
MS-3. A PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED ON DENUDED AREAS NOT OTHERWISE PERMANENTLY STABILIZED. PERMANENT VEGETATION SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED THAT IS UNIFORM, MATURE ENOUGH TO SURVIVE AND WILL INHIBIT EROSION.
MS-4. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
MS-5. STABILIZATION MEASURES SHALL BE APPLIED TO EARTHEN STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.
A. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT TRAP SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA AND THE TRAP SHALL ONLY CONTROL DRAINAGE AREAS LESS THAN THREE ACRES.
B. SURFACE RUNOFF FROM DISTURBED AREAS THAT IS COMPRISED OF FLOW FROM DRAINAGE AREAS GREATER THAN OR EQUAL TO THREE ACRES SHALL BE CONTROLLED BY A SEDIMENT BASIN. THE MINIMUM STORAGE CAPACITY OF A SEDIMENT BASIN SHALL BE 134 CUBIC YARDS PER ACRE OF DRAINAGE AREA. THE OUTFALL SYSTEM SHALL, AT A MINIMUM, MAINTAIN THE STRUCTURAL INTEGRITY OF THE BASIN DURING A 25-YEAR STORM OF 24-HOUR DURATION. RUNOFF COEFFICIENTS USED IN RUNOFF CALCULATIONS SHALL CORRESPOND TO A BARE EARTH CONDITION OR THOSE CONDITIONS EXPECTED TO EXIST WHILE THE SEDIMENT BASIN IS UTILIZED.
MS-7. CUT AND FILL SLOPES SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT WILL MINIMIZE EROSION. SLOPES THAT ARE FOUND TO BE ERODING EXCESSIVELY WITHIN ONE YEAR OF PERMANENT STABILIZATION SHALL BE PROVIDED WITH ADDITIONAL SLOPE STABILIZING MEASURES UNTIL THE PROBLEM IS CORRECTED.
MS-8. CONCENTRATED RUNOFF SHALL NOT FLOW DOWN CUT OR FILL SLOPES UNLESS CONTAINED WITHIN AN ADEQUATE TEMPORARY OR PERMANENT CHANNEL, FLUME OR SLOPE DRAIN STRUCTURE.
MS-9. WHENEVER WATER SEEPS FROM A SLOPE FACE, ADEQUATE DRAINAGE OR OTHER PROTECTION SHALL BE PROVIDED.
MS-10. ALL STORM SEWER INLETS THAT ARE MADE OPERABLE DURING CONSTRUCTION SHALL BE PROTECTED SO THAT SEDIMENT-LADEN WATER CANNOT ENTER THE CONVEYANCE SYSTEM WITHOUT FIRST BEING FILTERED OR OTHERWISE TREATED TO REMOVE SEDIMENT.
MS-11. BEFORE NEWLY CONSTRUCTED STORMWATER CONVEYANCE CHANNELS OR PIPES ARE MADE OPERATIONAL, ADEQUATE OUTLET PROTECTION AND ANY REQUIRED TEMPORARY OR PERMANENT CHANNEL LINING SHALL BE INSTALLED IN BOTH THE CONVEYANCE CHANNEL AND RECEIVING CHANNEL.
MS-12. WHEN WORK IN A LIVE WATERCOURSE IS PERFORMED, PRECAUTIONS SHALL BE TAKEN TO MINIMIZE ENCROACHMENT, CONTROL SEDIMENT TRANSPORT AND STABILIZE THE WORK AREA TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION. NONERODIBLE MATERIAL SHALL BE USED FOR THE CONSTRUCTION OF CAUSEWAYS AND COFFERDAMS. EARTHEN FILL MAY BE USED FOR THESE STRUCTURES IF ARMORED BY NONERODIBLE COVER MATERIALS.
MS-13. WHEN A LIVE WATERCOURSE MUST BE CROSSED BY CONSTRUCTION VEHICLES MORE THAN TWICE IN ANY SIX-MONTH PERIOD, A TEMPORARY VEHICULAR STREAM CROSSING CONSTRUCTED OF NONERODIBLE MATERIAL SHALL BE PROVIDED.
MS-14. ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS PERTAINING TO WORKING IN OR CROSSING LIVE WATERCOURSES SHALL BE MET.
MS-15. THE BED AND BANKS OF A WATERCOURSE SHALL BE STABILIZED IMMEDIATELY AFTER WORK IN THE WATERCOURSE IS COMPLETED.
MS-16. UNDERGROUND UTILITY LINES SHALL BE INSTALLED IN ACCORDANCE WITH THE FOLLOWING STANDARDS IN ADDITION TO OTHER APPLICABLE CRITERIA:
A. NO MORE THAN 500 LINEAR FEET OF TRENCH MAY BE OPENED AT ONE TIME.
B. EXCAVATED MATERIAL SHALL BE PLACED ON THE UPHILL SIDE OF TRENCHES.
C. EFFLUENT FROM DEWATERING OPERATIONS SHALL BE FILTERED OR PASSED THROUGH AN APPROVED SEDIMENT TRAPPING DEVICE, OR BOTH, AND DISCHARGED IN A MANNER THAT DOES NOT ADVERSELY AFFECT FLOWING STREAMS OR OFF-SITE PROPERTY.
D. MATERIAL USED FOR BACKFILLING TRENCHES SHALL BE PROPERLY COMPACTED IN ORDER TO MINIMIZE EROSION AND PROMOTE STABILIZATION.
E. RESTABILIZATION SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THESE REGULATIONS.
F. APPLICABLE SAFETY REGULATIONS SHALL BE COMPLIED WITH.
MS-17. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER. THIS PROVISION SHALL APPLY TO INDIVIDUAL DEVELOPMENT LOTS AS WELL AS TO LARGER LAND-DISTURBING ACTIVITIES.
MS-18. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED, UNLESS OTHERWISE AUTHORIZED BY THE LOCAL PROGRAM AUTHORITY. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
MS-19. PROPERTIES AND WATERWAYS DOWNSTREAM FROM DEVELOPMENT SITES SHALL BE PROTECTED FROM SEDIMENT DEPOSITION, EROSION AND DAMAGE DUE TO INCREASES IN VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FOR THE STATED FREQUENCY STORM OF 24-HOUR DURATION IN ACCORDANCE WITH THE STANDARDS AND CRITERIA LISTED IN THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK, CHAPTER 8 PAGES 20-24.

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- ES-1: UNLESS OTHERWISE INDICATED, CONSTRUCT AND MAINTAIN ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF THE LATEST EDITION OF THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND VIRGINIA REGULATIONS VR 625-02-00 EROSION AND SEDIMENT CONTROL REGULATIONS.
ES-2: THE CONTROLLING EROSION AND SEDIMENT CONTROL AUTHORITY WILL MAKE A CONTINUING REVIEW AND EVALUATION OF THE METHODS AND EFFECTIVENESS OF THE EROSION CONTROL PLAN.
ES-3: PLACE ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR AS THE FIRST STEP IN CLEARING, GRADING, OR LAND DISTURBANCE.
ES-4: MAINTAIN A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN ON THE SITE AT ALL TIMES.
ES-5: PRIOR TO COMMENCING LAND-DISTURBING ACTIVITIES IN AREAS OTHER THAN INDICATED ON THESE PLANS (INCLUDING, BUT NOT LIMITED TO, OFFSITE BORROW OR WASTE AREA), SUBMIT A SUPPLEMENTARY EROSION CONTROL PLAN TO THE ARCHITECT/ENGINEER AND THE CONTROLLING EROSION AND SEDIMENT CONTROL AUTHORITY FOR REVIEW AND ACCEPTANCE.
ES-6: PROVIDE ADDITIONAL EROSION CONTROL MEASURES NECESSARY TO PREVENT EROSION AND SEDIMENTATION AS DETERMINED BY THE RESPONSIBLE LAND DISTURBER. (MODIFIED NOTE)
ES-7: ALL DISTURBED AREAS SHALL DRAIN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND-DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT.
ES-8: DURING DEWATERING OPERATIONS, PUMP WATER INTO AN APPROVED FILTERING DEVICE, ENSURE THAT PUMP INLET IS KEPT ABOVE SETTLED SEDIMENT.
ES-9: INSPECT ALL EROSION CONTROL MEASURES DAILY AND AFTER EACH RUNOFF- PRODUCING RAINFALL EVENT. MAKE ANY NECESSARY REPAIRS OR CLEANUP TO MAINTAIN THE EFFECTIVENESS OF THE EROSION CONTROL DEVICES IMMEDIATELY.

SOILS INFORMATION

91 - URBAN LAND - 0 TO 25 PERCENT SLOPES, 10 INCHES TO DENSIC MATERIAL. HYDROLOGIC SOIL GROUP D.



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PROJECT:



YOUR VISION ACHIEVED THROUGH OURS

RESOLUTION:



2117 IVY ROAD FINAL SITE PLAN 2117 IVY ROAD CHARLOTTESVILLE, VA 22903

REVISIONS BY/DATE:

Table with 4 columns: Date, Description, and two numerical columns. Rows include 3/13/2024 CITY SUBMISSION 1, 5/29/2024 CITY COMMENTS 2, 8/23/2024 CITY COMMENTS 3, 9/20/2024 CITY COMMENTS 4.

APPROVALS:

SEAL:



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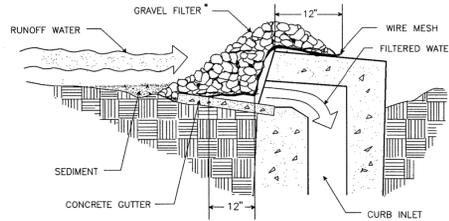
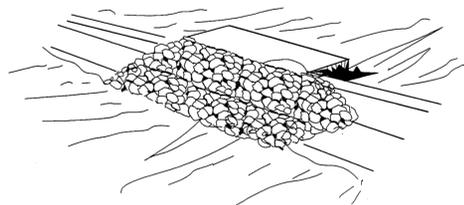
SHEET NAME:

ESC NOTES & DETAILS

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C3.0 NOT FOR CONSTRUCTION

GRAVEL CURB INLET SEDIMENT FILTER



SPECIFIC APPLICATION

THIS METHOD OF INLET PROTECTION IS APPLICABLE AT CURB INLETS WHERE PONDING IN FRONT OF THE STRUCTURE IS NOT LIKELY TO CAUSE INCONVENIENCE OR DAMAGE TO ADJACENT STRUCTURES AND UNPROTECTED AREAS.

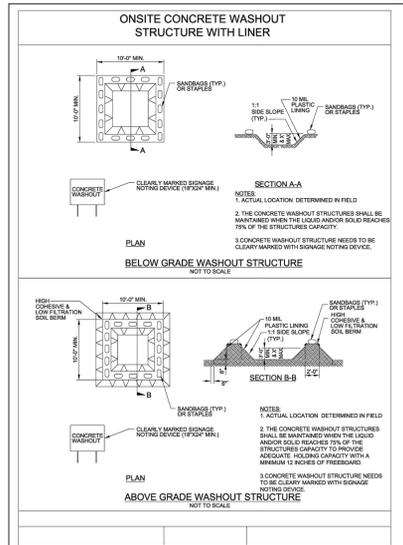
* GRAVEL SHALL BE VDOT #3, #357 OR 5 COARSE AGGREGATE.

IP

STORM DRAIN INLET PROTECTION

No Scale

3.07-6



CONCRETE WASHOUT AREA

No Scale

Excavated drop inlet sediment trap design

Drainage Area (Acres) (<3)	0.35
Trap Volumes: PHASE I	
Elevation (ft)	Area (SF) Volume (CY)
544.5	359
545.5	531 16.5
546.5	729 23.3
547	838 14.5
	54.3

Wet Storage:

Wet Storage Required (CY) (134*DA)	46.9
Bottom of Excavation (ft)	544.50
Top of Inlet Elevation (Ft)	547.00
Wet Storage Provided at This Elevation (CY)	54.3
Slope of Wet Storage Sides	2:1

TABLE 3.31-B
ACCEPTABLE TEMPORARY SEEDING PLANT MATERIALS
"QUICK REFERENCE FOR ALL REGIONS"

PLANTING DATES	SPECIES	RATE (LBS./ACRE)
SEPT. 1 - FEB. 15	50/50 MIX OF ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM) & CEREAL (WINTER) RYE (SECALE CEREALE)	50-100
FEB. 16 - APR. 30	ANNUAL RYEGRASS (LOLIUM MULTI-FLORUM)	60-100
MAY 1 - AUG. 31	GERMAN MILLET (SETARIA ITALICA)	50

PS

3.31

TEMPORARY SEEDING PLANT MATERIALS

No Scale

TABLE 3.32-D
SITE SPECIFIC SEEDING MIXTURES FOR PIEDMONT AREA

MINIMUM CARE LAWN COMMERCIAL OR RESIDENTIAL	TOTAL LBS. PER ACRE
KENTUCKY 31 OR TURF-TYPE TALL FESCUE	175-200 LBS.
IMPROVED PERENNIAL RYEGRASS	90-100%
KENTUCKY BLUEGRASS	0-5%
GENERAL SLOPE (3:1 OR LESS)	
KENTUCKY 31 FESCUE	128 LBS.
RED TOP GRASS	2 LBS.
SEASONAL NURSE CROP *	20 LBS.
150 LBS.	
LOW-MAINTENANCE SLOPE (STEEPER THAN 3:1)	
* SEE SLOPE STABILIZATION SEED MIX	

* USE SEASONAL NURSE CROP IN ACCORDANCE WITH SEEDING DATES AS STATED BELOW.

FEBRUARY 16TH THROUGH APRIL	ANNUAL RYE
MAY 1ST THROUGH AUGUST 15TH	FOXTAIL MILLET
AUGUST 16TH THROUGH OCTOBER	ANNUAL RYE
NOVEMBER THROUGH FEBRUARY 15TH	WINTER RYE

** SUBSTITUTE SERICEA LESPEDEZA FOR CROWNVELTCH EAST OF FARMVILLE, VA (MAY THROUGH SEPTEMBER USE HULLED SERICEA, ALL OTHER PERIODS USE UNHULLED SERICEA). IF FLATPEA IS USED IN LIEU OF CROWNVELTCH, INCREASE RATE TO 30 LBS./ACRE. ALL LEGUME SEED MUST BE PROPERLY INOCULATED. WEEPING LOVEGRASS MAY BE ADDED TO ANY SLOPE OR LOW-MAINTENANCE MIX DURING WARMER SEEDING PERIODS; ADD 10-20 LBS./ACRE IN MIXES.

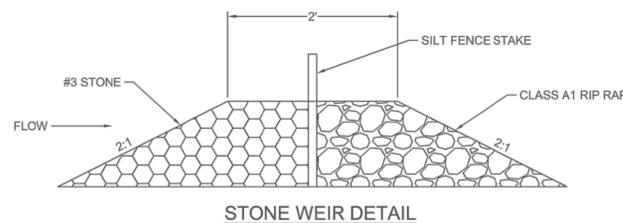
TS

3.32

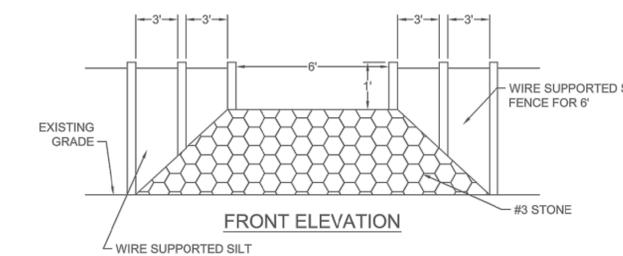
PERMANENT SEEDING MIX FOR PIEDMONT AREA

No Scale

NOTE: SILT FENCE BREAK TO BE PLACED AT LOW POINT IN SILT FENCE LINE



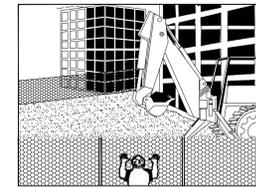
STONE WEIR DETAIL



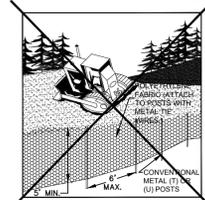
FRONT ELEVATION

SILT FENCE BREAK

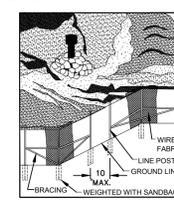
No Scale



PERSPECTIVE VIEW



PERSPECTIVE VIEW PLASTIC FENCE



PERSPECTIVE VIEW METAL FENCE

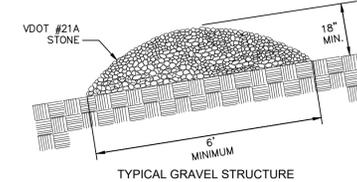
SAF

3.10

TEMPORARY SAFETY FENCE (CHAIN LINK)

No Scale

TEMPORARY RIGHT-OF-WAY DIVERSIONS



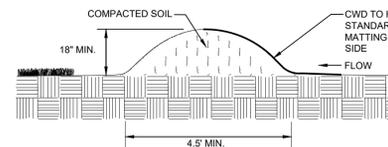
TYPICAL GRAVEL STRUCTURE

RWD

3.11-1

TEMPORARY RIGHT-OF-WAY DIVERSION

No Scale



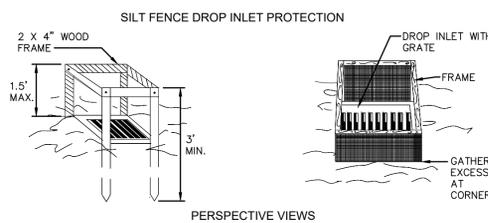
DD

CWD

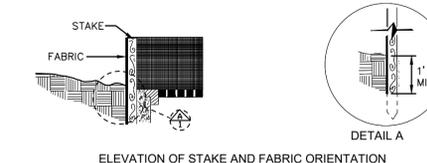
3.09-1

TEMPORARY DIVERSION DIKE

No Scale



PERSPECTIVE VIEWS



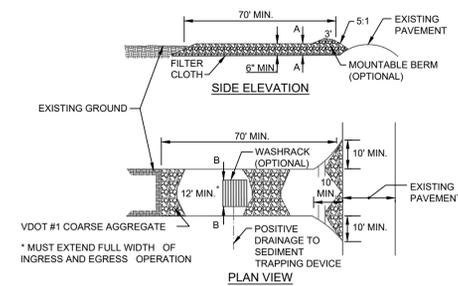
ELEVATION OF STAKE AND FABRIC ORIENTATION

IP

3.07-1

STORM DRAIN INLET PROTECTION

No Scale



SECTION A-A

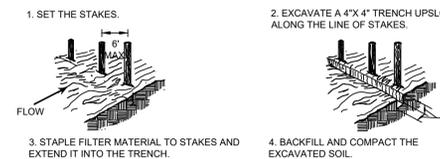
SECTION B-B

CE

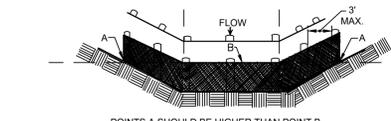
3.02

STONE CONSTRUCTION ENTRANCE

No Scale



SHEET FLOW INSTALLATION (PERSPECTIVE VIEW)



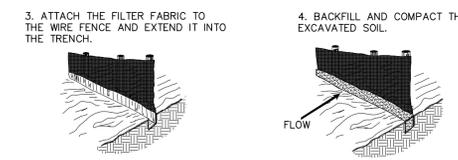
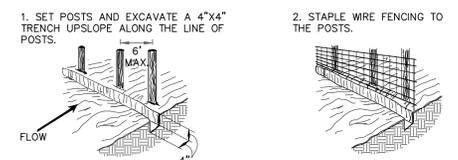
DRAINAGWAY INSTALLATION (FRONT ELEVATION)

SSF

3.05-2

SILT FENCE (W/O WIRE SUPPORT)

No Scale



EXTENSION OF FABRIC AND WIRE INTO THE TRENCH.

DETAIL A

SSF

3.05-1

SILT FENCE (WITH WIRE SUPPORT)

No Scale



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5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4



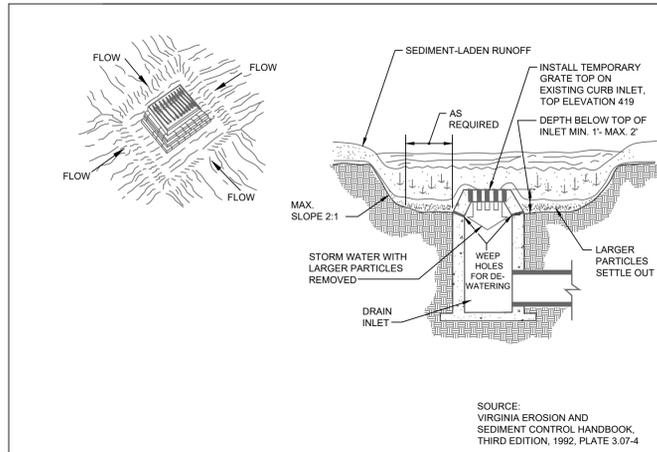
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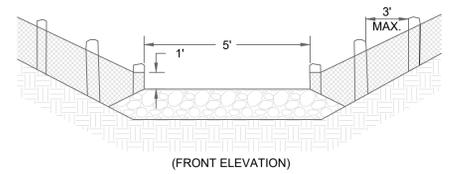
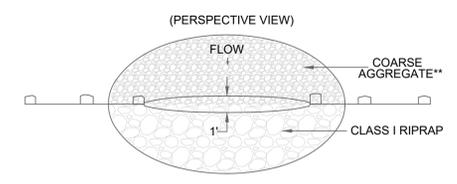
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SOURCE:
VIRGINIA EROSION AND
SEDIMENT CONTROL HANDBOOK,
THIRD EDITION, 1992, PLATE 3.07-4

ST EXCAVATED DROP INLET SEDIMENT TRAP No Scale 3.07-4



NOTE: INSTALL SILT FENCE BREAK AT LOW IN FENCE LINE
**COARSE AGGREGATE SHALL BE VDOT #3 OR #57 STONE

SILT FENCE BREAK No Scale



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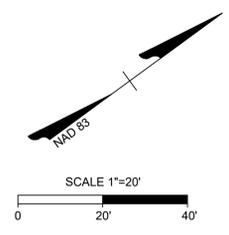
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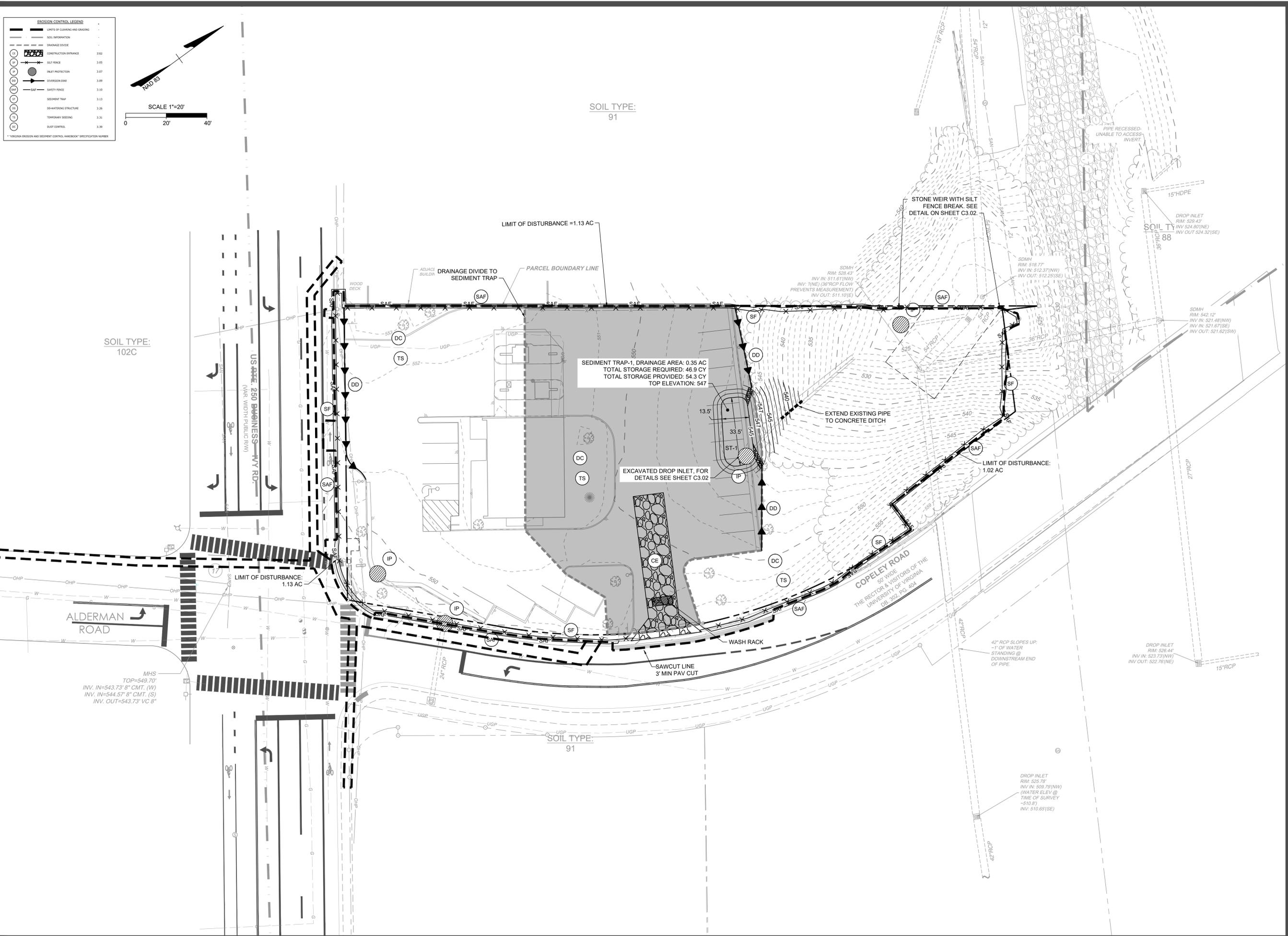
C3.2
NOT FOR CONSTRUCTION

EROSION CONTROL LEGEND	
[Symbol]	LIMITS OF CLEARING AND GRADING
[Symbol]	SOIL INFORMATION
[Symbol]	DRAINAGE DIVIDE
[Symbol]	CONSTRUCTION ENTRANCE
[Symbol]	SILT FENCE
[Symbol]	INLET PROTECTION
[Symbol]	SEDIMENT TRAP
[Symbol]	SAFETY FENCE
[Symbol]	SEDIMENT TRAP
[Symbol]	DE-WATERING STRUCTURE
[Symbol]	TEMPORARY SEEDING
[Symbol]	DUST CONTROL



SOIL TYPE:
91

SOIL TYPE:
102C



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9/20/2024	CITY COMMENTS	4



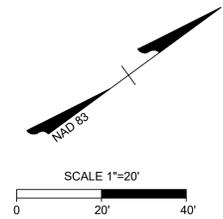
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EROSION & SEDIMENT CONTROL - PHASE 1

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C3.3
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EROSION CONTROL LEGEND	
[Symbol]	LIMITS OF CLEARING AND GRADING
[Symbol]	SOIL INFORMATION
[Symbol]	DRAINAGE DIVIDE
[Symbol]	CONSTRUCTION ENTRANCE
[Symbol]	SILT FENCE
[Symbol]	INLET PROTECTION
[Symbol]	SEDIMENT TRAP
[Symbol]	SAFETY FENCE
[Symbol]	DEWATERING STRUCTURE
[Symbol]	TEMPORARY SEEDING
[Symbol]	DUST CONTROL

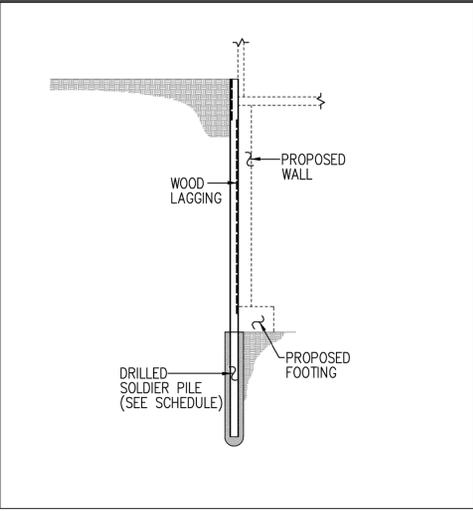


- NOTES:**
- TIE-BACKS FOR SHEETING/SHORING AND RETAINING WALLS ARE NOT PERMITTED WITHIN CITY'S R.O.W. WITHOUT PRIOR APPROVAL OF CITY.
 - CONTRACTOR SHALL MAINTAIN WASH RACKS ACCORDINGLY AS SHOWN ON EROSION AND SEDIMENT CONTROL PLANS.

Table 16: Sediment Trap design (spec 3.13)

Excavated drop inlet sediment trap design

Drainage Area (Acres) (<3)	0.29	
Trap Volumes		
Elevation (ft)	Area (SF) Volume (CY)	
546	345	
547	604	17.6
548	931	28.4
549	1309	41.5
		87.5
Wet Storage:		
Wet Storage Required (CY) (134*DA)	38.9	
Bottom of Excavation (ft)	546.00	
Top Of Inlet Elevation (ft)	549.00	
Wet Storage Provided at This Elevation (CY)	87.5	
Slope of Wet Storage Sides	2:1	



FERGUSON WATERWORKS

SEDIMENT AND PERIMETER CONTROL

DIRTBAG®
DEWATERING BAG

FILTERS SILT, SAND, AND FINES OUT OF PUMPED WATER

DIRTBAG® dewatering bags remove silt, sand and other debris from pumped water on construction sites, ponds, dredging locations and more.

AVAILABLE UNITS

- 4' x 6'
- 6' x 6'
- 8' x 6'
- 10' x 6'
- 10' x 15'
- 15' x 15'
- 15' x 30'
- 15' x 30'

ADVANTAGES

- High flow rate
- 15' x 15' DIRTbag is rated up to 500 GPM pump
- Built-in neck receives up to 6" discharge hose
- Removes sediment, trash, and debris
- Economical alternative to other methods
- Custom sizes available upon request

INSTALLATION

Place filtering straps (not included) under the unit to facilitate removal after use. Unload the DIRTbag on a stabilized area over dense vegetation, straw, or other cover. Place bag over the open-grated stone to achieve maximum filtration and drainage.

MAINTENANCE

- DIRTBAG must be monitored at all times during use (over-filling may cause rupture)
- Flow and removal rates vary based on particle size/sediment composition
- To increase flow rate, place DIRTbag on aggregate, straw bales or other porous surface
- Replace the bag when 1/2 full of sediment or when sediment has reduced the pump discharge flow rate to an impractical rate. If using an optional absorbent, remove and replace the absorbent when near saturation.

DIRTBAG® SEAM TEST RESULTS (ASTM D4884)

NONWOVEN DIRTBAG®

Maximum load 785 lbs
Maximum strength 1073 lb/ft

DISCLAIMER: Use of dewatering bags is a standard construction method throughout the U.S. Ferguson is not liable for any damage caused by rupture or over-filling of DIRTbag. If DIRTbag fails to fully pass pumped water, turn off pump and contact Ferguson Waterworks at 800-448-3636.

dwelldesignstudio

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RICHMOND, VA 23230
PHONE: 804.608.2774
dwelldesignstudio.com

TIMMONS GROUP
YOUR VISION ACHIEVED THROUGH OURS.

UP CAMPUS
STUDENT LIVING

2117 IVY ROAD FINAL SITE PLAN
2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4

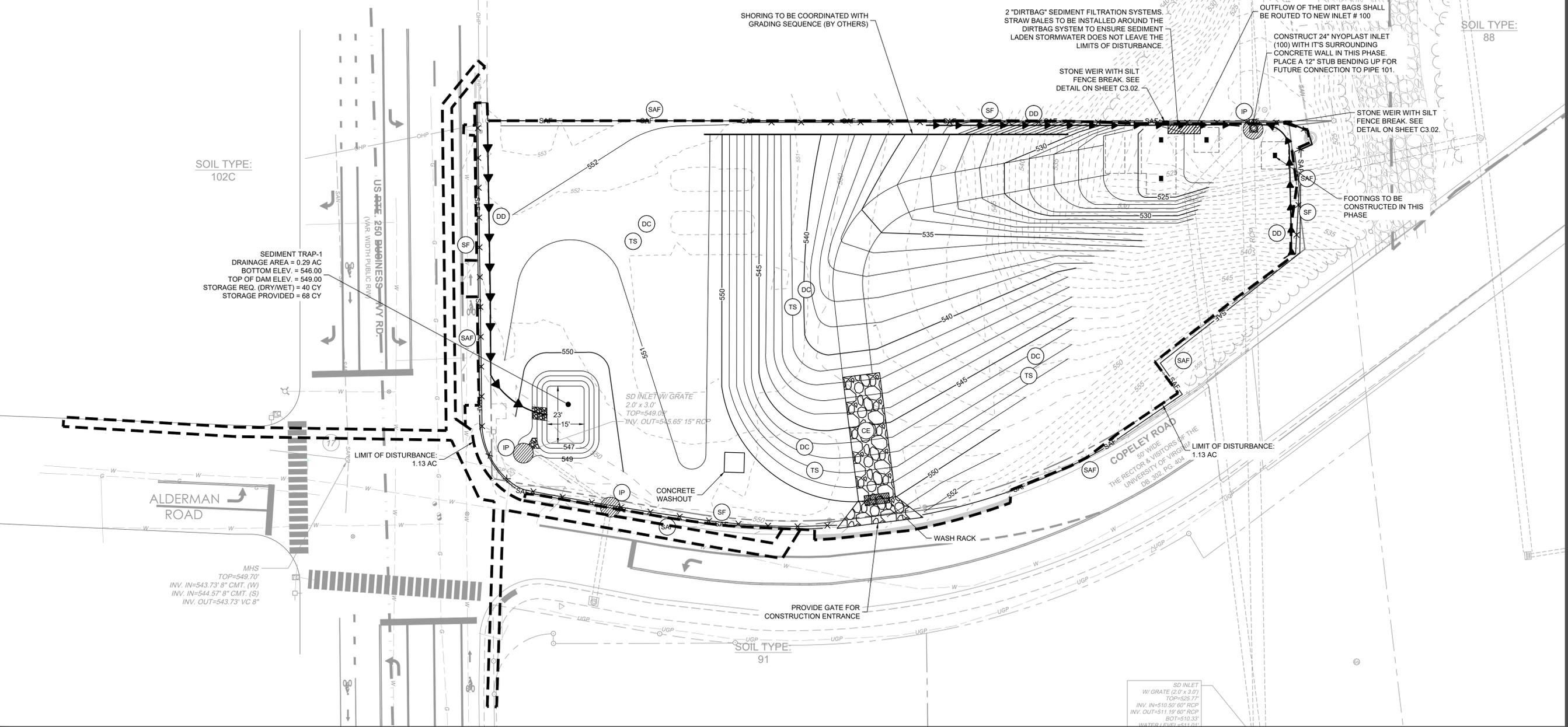
COMMONWEALTH OF VIRGINIA
REGISTERED PROFESSIONAL ENGINEER
CLIFF W. SHIPLETT
No. 54380
9/20/2024

EROSION & SEDIMENT CONTROL - PHASE 2

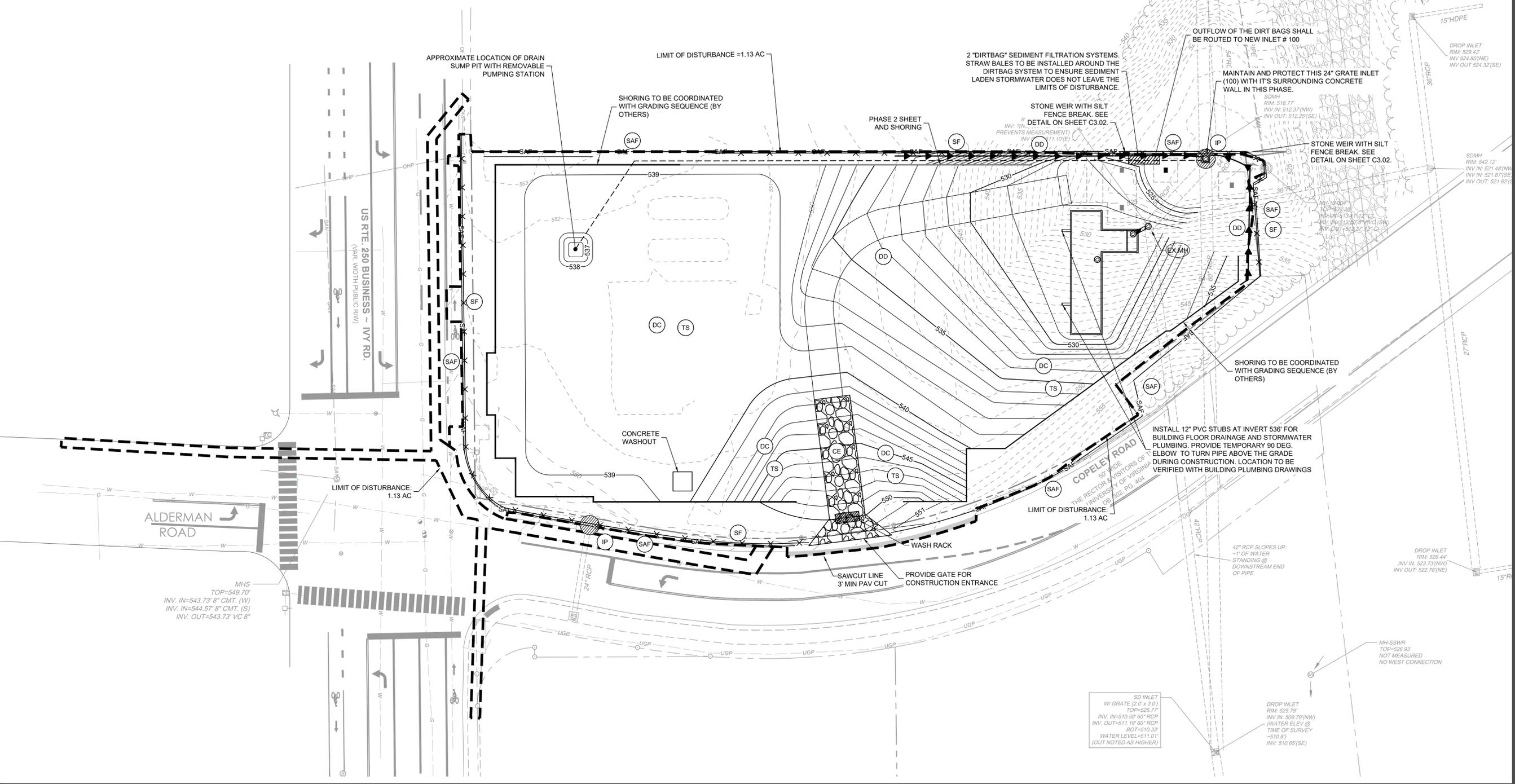
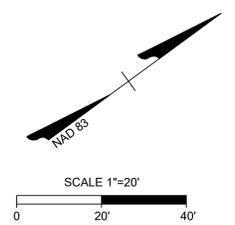
JOB NUMBER: 54985

C3.4
NOT FOR CONSTRUCTION

C. Dwell Design Studio - ALL RIGHTS RESERVED



EROSION CONTROL LEGEND	
	LIMITS OF CLEARING AND GRADING
	SOIL INFORMATION
	DRAINAGE DIVIDE
	CONSTRUCTION ENTRANCE
	SILT FENCE
	INLET PROTECTION
	SEDIMENT EDGE
	SAFETY FENCE
	SEDIMENT TRAP
	DE-WATERING STRUCTURE
	TEMPORARY SEEDING
	DUST CONTROL



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2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
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9/20/2024	CITY COMMENTS	4



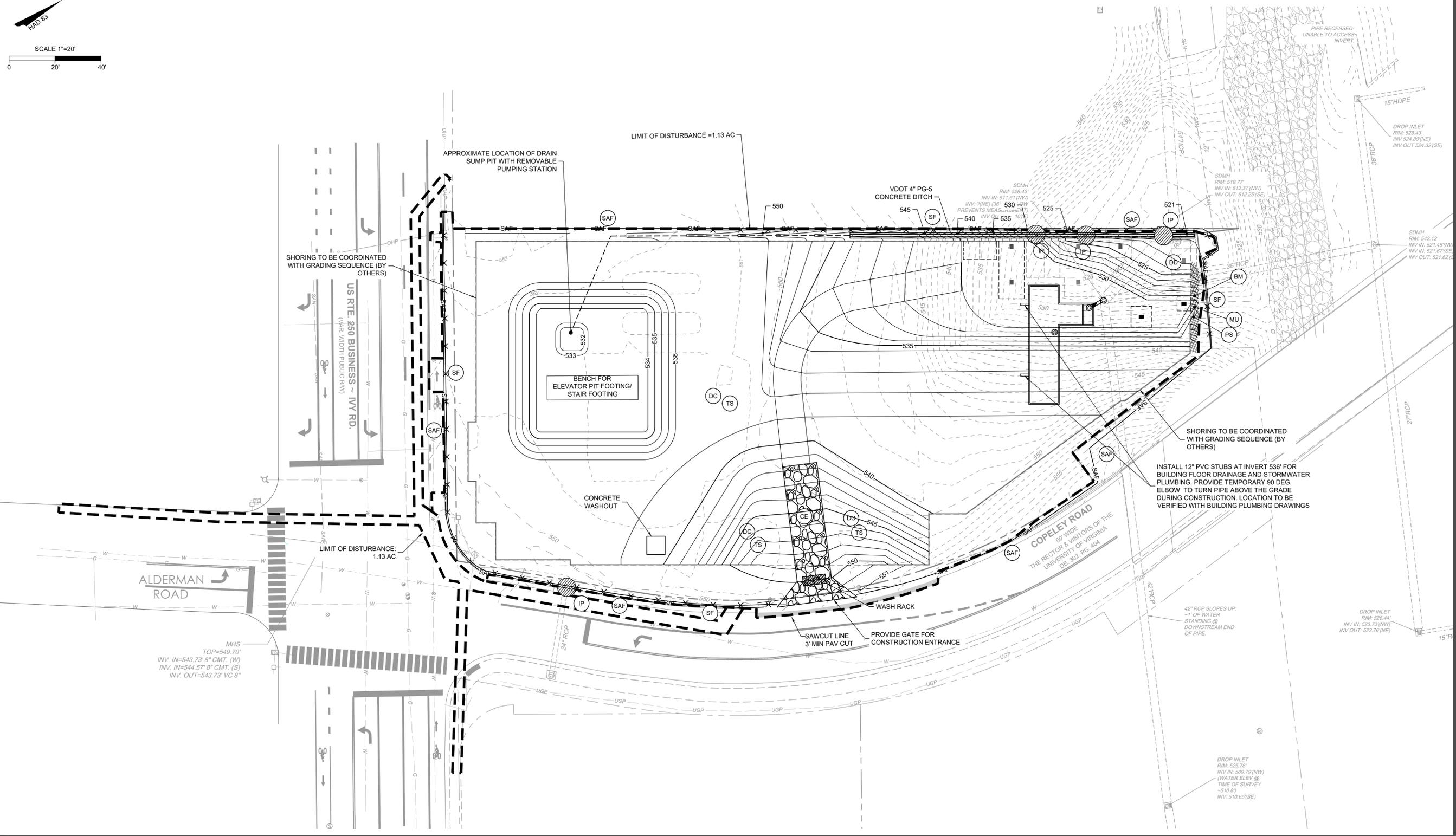
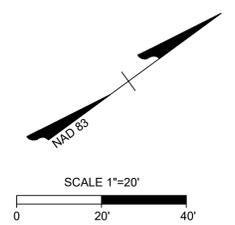
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EROSION & SEDIMENT CONTROL - PHASE 3

JOB NUMBER: 54985

C3.5
NOT FOR CONSTRUCTION

EROSION CONTROL LEGEND	
	LIMITS OF CLEARING AND GRADING
	SOIL INFORMATION
	DRAINAGE DIVIDE
	CONSTRUCTION ENTRANCE
	SELF-FENCE
	INLET PROTECTION
	SEDIMENT EDGE
	SAFETY FENCE
	SEDIMENT TRAP
	DE-WATERING STRUCTURE
	TEMPORARY SEEDING
	DUST CONTROL



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2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
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8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4



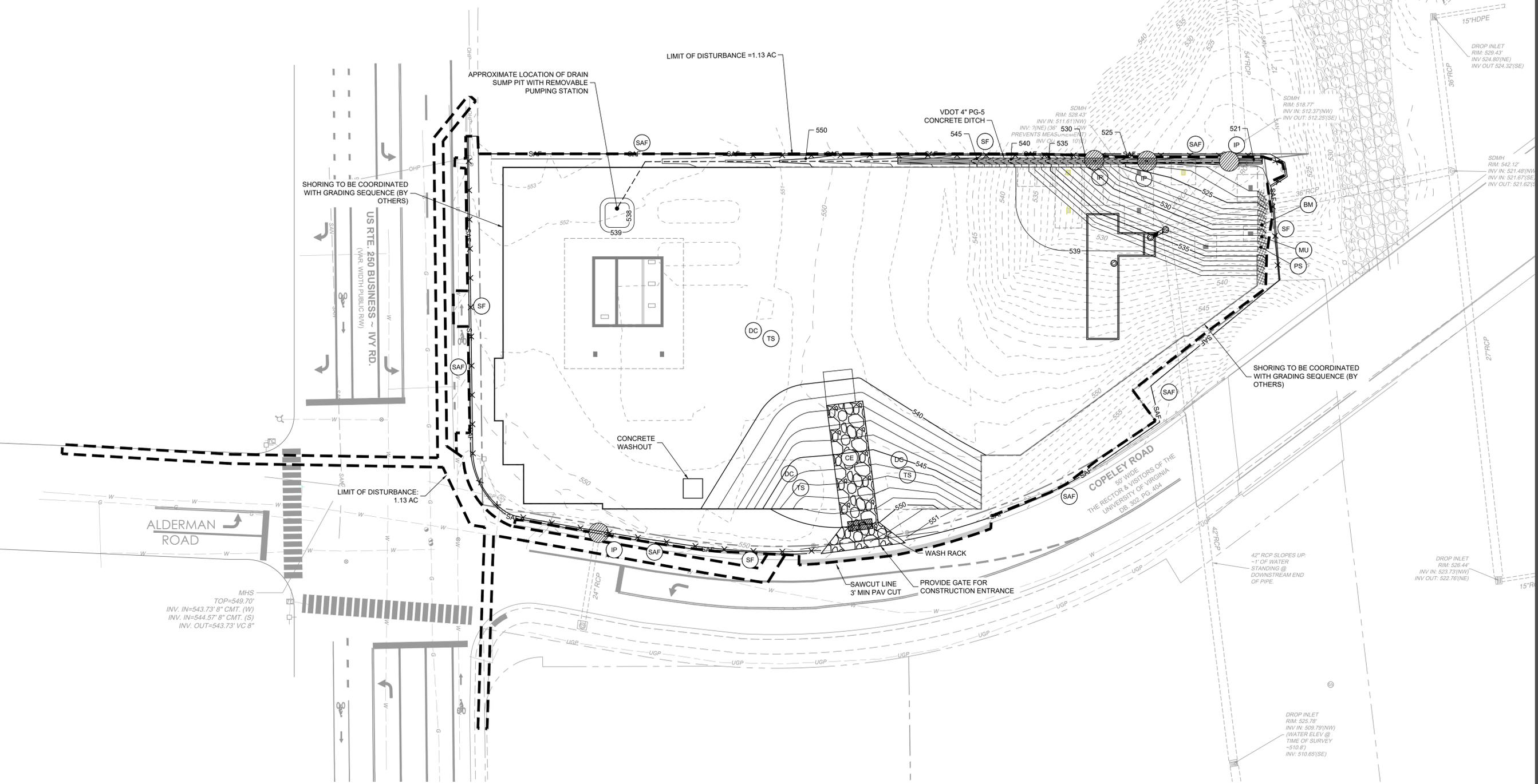
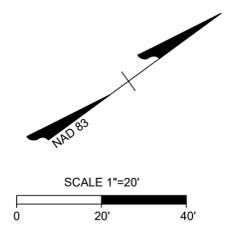
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EROSION & SEDIMENT CONTROL - PHASE 4

JOB NUMBER: 54985

C3.6
NOT FOR CONSTRUCTION

EROSION CONTROL LEGEND	
	LIMITS OF CLEARING AND GRADING
	SOIL INFORMATION
	DRAINAGE DIVIDE
	CONSTRUCTION ENTRANCE
	SELF-FENCE
	INLET PROTECTION
	SEDIMENT EDGE
	SAFETY FENCE
	SAFETY TRAP
	SEDIMENT TRAP
	DE-WATERING STRUCTURE
	TEMPORARY SEEDING
	DUST CONTROL



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8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4



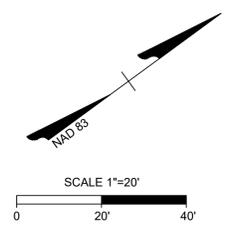
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EROSION & SEDIMENT CONTROL - PHASE 5

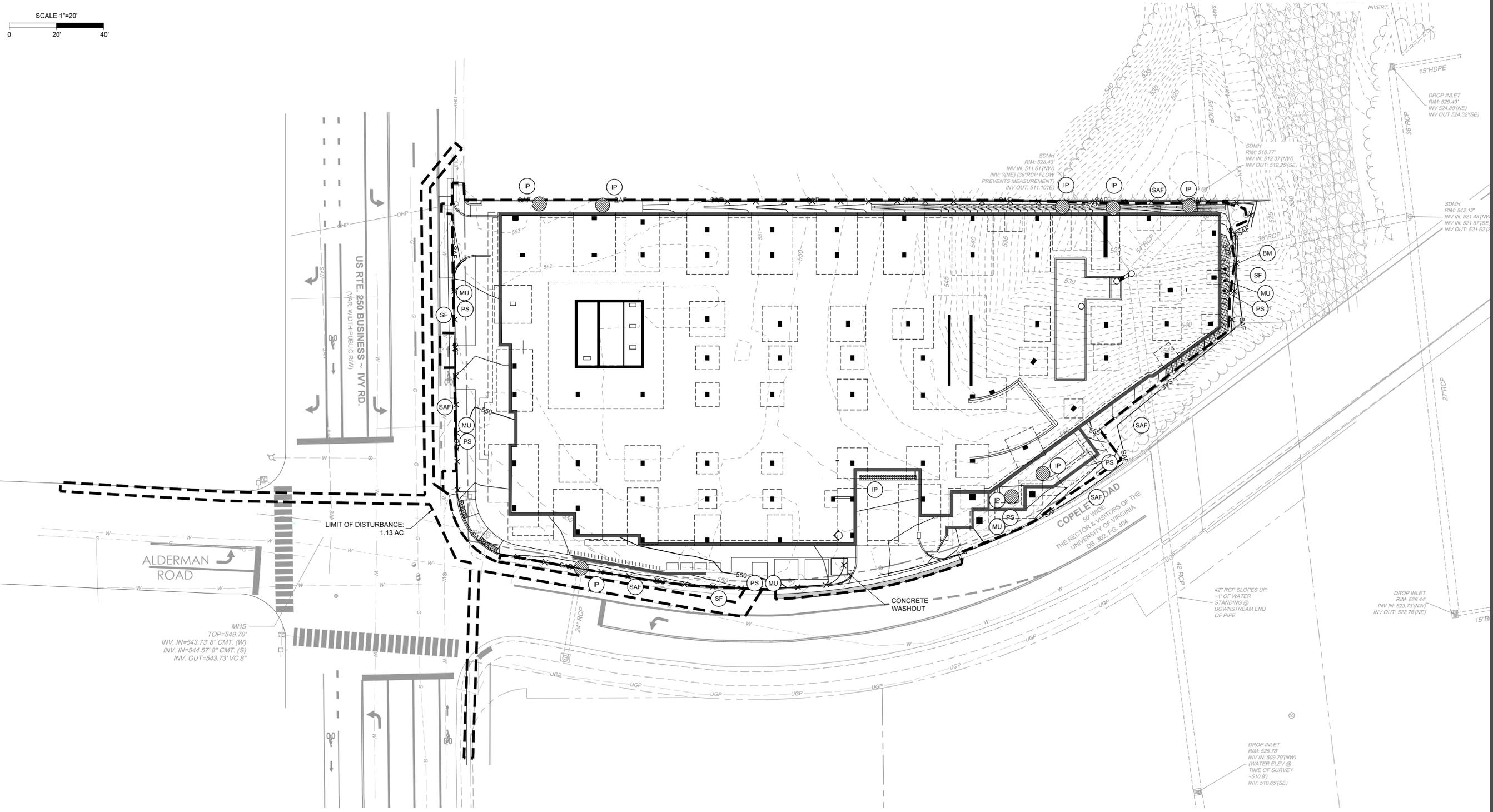
JOB NUMBER: 54985

C3.7
NOT FOR CONSTRUCTION

EROSION CONTROL LEGEND	
	LIMITS OF CLEARING AND GRADING
	SOIL INFORMATION
	DRAINAGE DIVIDE
	CONSTRUCTION ENTRANCE 3.02
	SELF FENCE 3.05
	INLET PROTECTION 3.07
	SEDIMENT EDGE 3.09
	SAFETY FENCE 3.10
	PERMANENT SEEDING 3.32
	MULCHING 3.35
	BLANKET MATTING 3.36
	DUST CONTROL 3.39



SCALE 1"=20'



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CHARLOTTESVILLE, VA 22903

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4

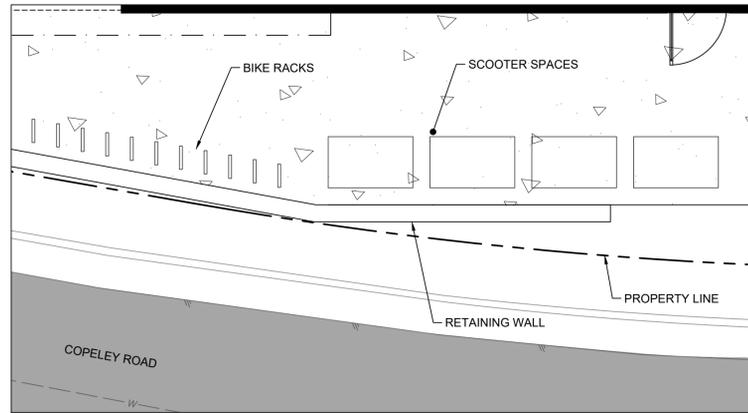


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EROSION & SEDIMENT CONTROL - PHASE 6

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C3.8
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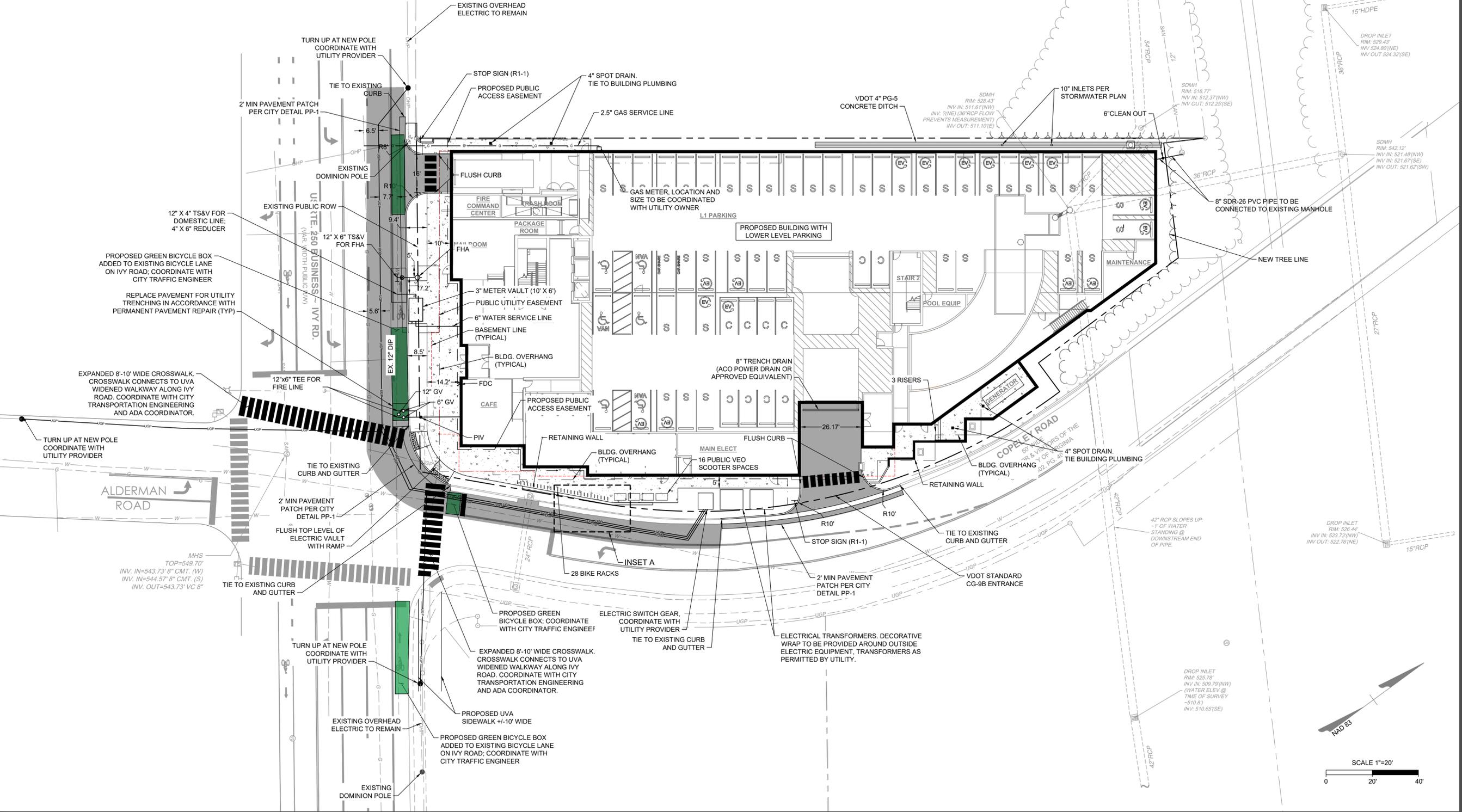


INSET A

- NOTES:
- 20' PUBLIC UTILITY EASEMENTS SHALL BE PROVIDED FOR ALL PROPOSED PUBLIC UTILITIES. WHERE UTILITIES LIE WITHIN 10' OF PROPOSED RIGHT-OF-WAY, ADJACENT EASEMENT MUST BE PROVIDED TO ALLOW FOR 10' OF WORK SPACE ON EITHER SIDE OF UTILITY.
 - THE LOCATION OF PROPOSED STREET TREES SHALL BE COORDINATED WITH CITY UTILITIES DEPARTMENT TO ENSURE ADEQUATE SPACING FROM PROPOSED UTILITIES IS MAINTAINED.
 - PER CITY CODE, PROPOSED BUILDINGS SHALL PROVIDE AT LEAST 10' SEPARATION FROM PROPOSED AND EXISTING UTILITIES.
 - ALL CROSSWALK AND BIKE LANE STRIPING AT INTERSECTION TO BE COORDINATED WITH CITY TRANSPORTATION ENGINEER AND ADA COORDINATOR.
 - ANY STRUCTURAL COMPONENTS SUCH AS RETAINING WALL, GEOGRID, FOUNDATION, TIE-BACKS FOR SHEETING/SHORING ARE NOT PERMITTED WITHIN CITY'S R.O.W. WITHOUT PRIOR APPROVAL OF CITY COUNCIL.
 - FOR ALL PROPOSED RETAINING WALLS AND FOUNDATIONS, IF THERE ARE CITY UTILITY LINES IN THE VICINITY, PLEASE ADD A NOTE THAT THE WALLS/FOUNDATIONS SHALL BE DESIGNED SUCH THAT THE CITY CAN EXCAVATE A TRENCH CENTERED ON OUR INFRASTRUCTURE, 5-FEET WIDE FOR PIPES AND EXTENDING AT LEAST 3-FEET FROM THE OUTSIDE EDGE FOR STRUCTURES, TO A DEPTH OF 1-FOOT BELOW THE INVERT, AND THIS EXCAVATION WILL NOT AFFECT THE WALL/FOUNDATION, ITS FOOTER, TIEBACKS OR ANY OTHER FEATURE RELATED TO ITS STRUCTURAL INTEGRITY.
 - FOR DETAILS RELATED TO RE-ROUTED UNDERGROUND POWER REFER TO SHEET C7.1.

LEGEND:

- CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE
- ASPHALT
- MILL AND OVERLAY



DATE	DESCRIPTION	BY
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8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4



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LAYOUT AND UTILITIES PLAN

JOB NUMBER: 54985

C4.0
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SUBMISSION INFORMATION:

DATE	DESCRIPTION	REV
3/13/2024	CITY SUBMISSION	1
8/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4

APPROXIMATE SEAL:

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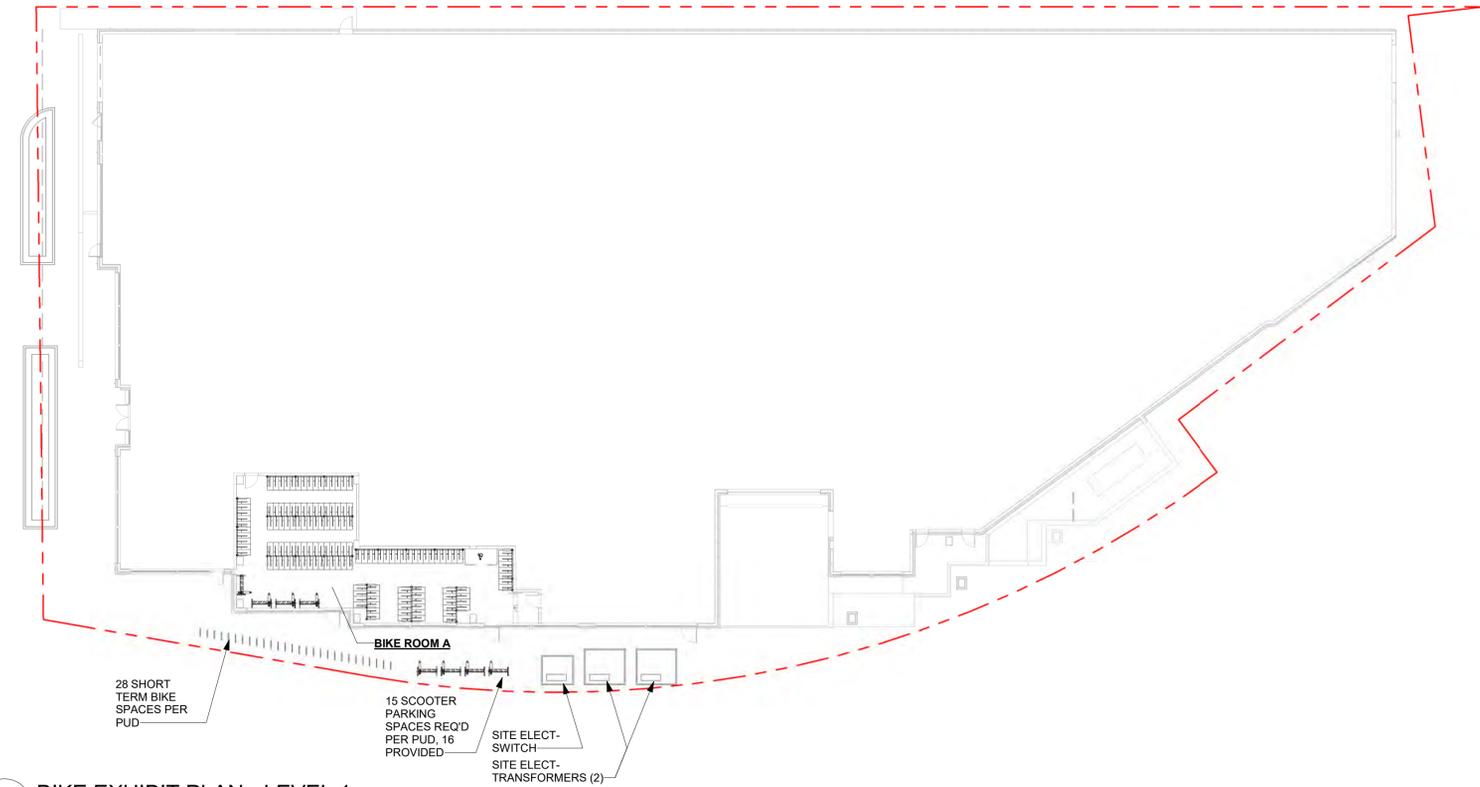
DESIGN SEAL:

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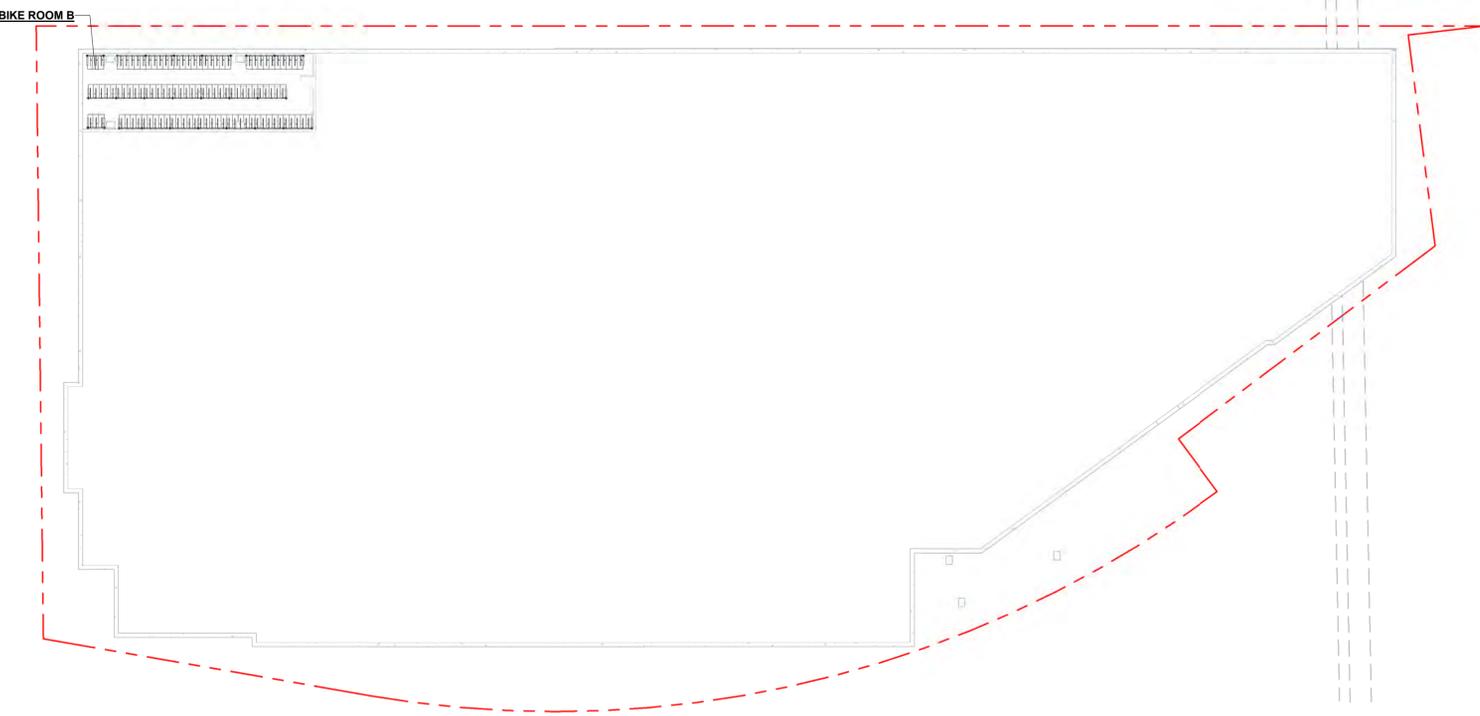
SHEET NAME:
BIKE PARKING EXHIBIT

JOB NUMBER: 2347106

A1.0
NOT FOR CONSTRUCTION



2 BIKE EXHIBIT PLAN - LEVEL 1
1" = 20'-0"



1 BIKE EXHIBIT PLAN - LEVEL B1
1" = 20'-0"

SHORT TERM BIKE COUNT

Type	Bike Count
SHORT TERM BIKE SPACES	
OUTDOOR BIKE RACK	28
SHORT TERM SCOOTER SPACES	
One Sided 4 Spots	16
TOTAL SHORT TERM BIKE AND SCOOTER SPACES	44

LONG TERM BIKE COUNT

Type	Bike Count
BIKE ROOM A - LEVEL 1	
Single Sided	4
Single Sided	4
Single Sided	7
Double Sided	8
Double Sided	8
Single Sided	10
Double Sided	12
Single Sided	15
Single Sided	19
Double Sided	30
Double Sided	30
	147
BIKE ROOM A - LEVEL 1 SCOOTERS	
One Sided 4 Spots	4
	16
BIKE ROOM B - LEVEL B1	
Single Sided	4
Single Sided	4
Single Sided	10
Single Sided	20
Single Sided	34
Single Sided	35
	107
TOTAL LONG TERM BIKE AND SCOOTER SPACES	270

PUD REQUIREMENTS:
FROM PUD 3.ZM23.00003
RESPONSE #5 ON 02/22/24

PROJECT SHALL INCLUDE AT ALL TIMES A MINIMUM OF 244 LONG TERM BICYCLE SPACES AND 26 SHORT TERM BICYCLE SPACES. ALL BICYCLE SPACES MAY BE USED FOR SCOOTERS AND THE TERM "BICYCLE SPACES" SHALL ALSO PERMIT PRIVATE SCOOTERS IN LIEU OF BICYCLES IN SUCH SPACES.

DATE	DESCRIPTION	REV
3/13/2024	CITY SUBMISSION	1
8/29/2024	CITY COMMENTS	2
8/29/2024	CITY COMMENTS	3
9/29/2024	CITY COMMENTS	4

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BIKE PARKING EXHIBIT

SHORT TERM BIKE PARKING

SCOOTER PARKING RACKS

BIKE REPAIR STATION

LONG TERM BIKE PARKING



DERO E-Scooter Rack **Submittal Sheet**

CAPACITY 4 Scooters

MATERIALS Frame tube: 2" 1q square tube
Top plate: 1/4" plate with black rubber coating

FINISHES (Frame)
 Galvanized
An after fabrication hot dipped galvanized finish is our standard option.
 Powder Coat
Our powder coat finish assures a high level of adhesion and durability by following these steps:
 1. Sandblast
 2. Epoxy primer electrostatically applied
 3. Final thick TGIC polyester powder coat

MOUNT OPTIONS
Surface
Rack may be left freestanding, or each frame tube accepts (2) 3/8" anchors.

DERO Fixit® Plus **Submittal Sheet**

CAPACITY
 1 Bike (One set of hanger arms)
 2 Bikes (Two sets of hanger arms)

MATERIALS
Main body: 6" x 12" tube
Bike Hanger: 1" solid round bar
Foot: 10" dia. x .25" plate
Tool levers: 3/16" stainless steel cable
Manual air pump
Hand tools:
 Phillips and flat head screwdrivers
 2.5, 3, 4, 5, 6, 8mm Allen wrenches
 T25 Torx wrench
 32mm Headset wrench
 15mm pedal wrench
 8, 9, 10, 11mm box wrenches
 Tire levers (2)

FINISHES
 Galvanized
An after fabrication hot dipped galvanized finish is our standard option.
 Powder Coat
Our powder coat finish assures a high level of adhesion and durability by following these steps:
 1. Sandblast
 2. Epoxy primer electrostatically applied
 3. Final thick TGIC polyester powder coat

MOUNT OPTIONS
Surface only
Fixit has 10" diameter x .25" foot with four anchors per foot. Tamper-resistant fasteners are included.

PUMP OPTIONS
 No Pump
 Air Kit Prime
 Attached to Fixit
 Separate
 Air Kit 4

CANE STOP
 Add Cane Stop (Galvanized only)
A cane-detectable attachment beneath the hanger arms is available for improved safety. (Additional cost)

DERO Ultra Space Saver™ Squared **Submittal Sheet**

CAPACITY Modular construction
1 bike per arm

MATERIALS
Hanger: 1" square tube with steel slider head with tamperproof locking tabs.
Upright: 2" square tube.
Feet: AISC C3 x 4.1 galvanized steel channel.
Crossbeams: 1.25" sched. 40 galvanized pipe.

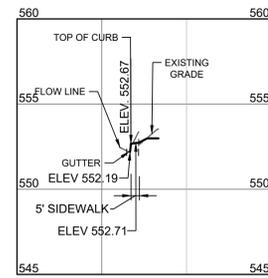
FINISHES
 Black Powder Coat (Interior Use)
Our interior powder coat finish assures a high level of adhesion and durability for indoor use by following these steps:
 1. Sandblast
 2. Final thick TGIC polyester powder coat
 Black Powder Coat (Exterior Use) Additional Cost
Our exterior powder coat finish assures a high level of adhesion and durability for outdoor or exposed air use by following these steps:
 1. Sandblast
 2. Epoxy primer electrostatically applied
 3. Final thick TGIC polyester powder coat

MOUNT OPTIONS
 Floor mount
Ultra Space Saver Squared have steel channel feet (30" for single sided and 56" for double sided units) which must be anchored to the floor.
 Wall mount
A wall mounted unit which contains special brackets is also available for CMU or solid concrete walls. Cannot be used on sheetrock without additional support.

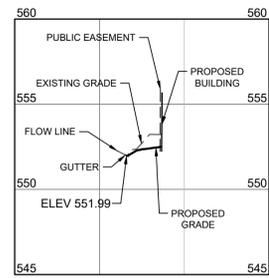
WHEEL STOPS
 Include wheel stops
Optional wheel stops are available for both floor and wall mounted racks for an additional cost.

CANE STOPS
 Include cane stops
Optional cane-detectable stops are available for both floor and wall mounted racks for an additional cost.

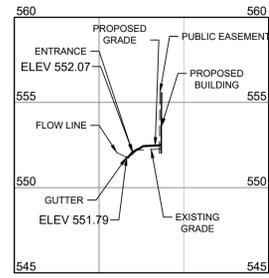
As a general guideline, the above space cin fit approximately 60 bicycles.
 The Ultra Space Saver Squared parks one bike every 16" with a typical bike extending out 42" from the wall.



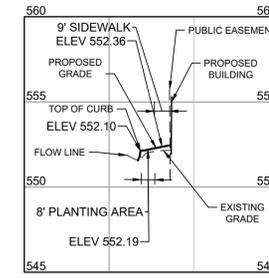
1 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



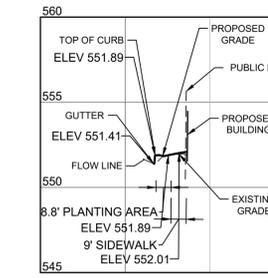
2 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



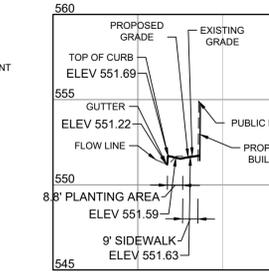
3 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



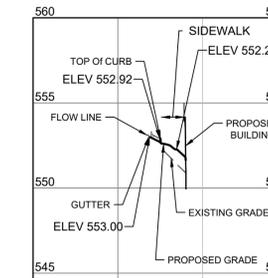
4 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



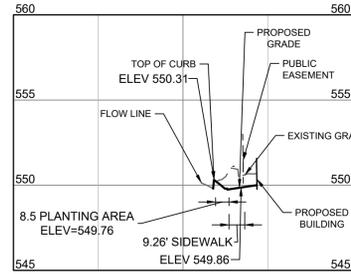
5 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



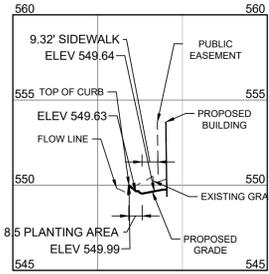
6 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



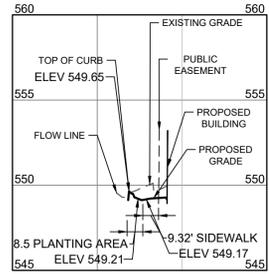
19 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



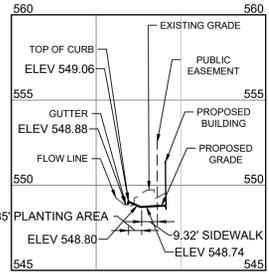
7 PROFILE
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VERT SCALE: 1"=5'



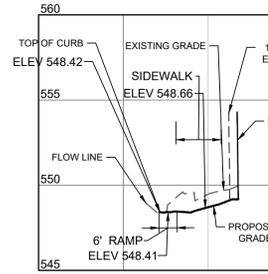
8 PROFILE
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VERT SCALE: 1"=5'



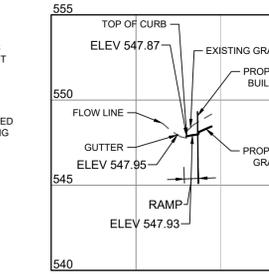
9 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



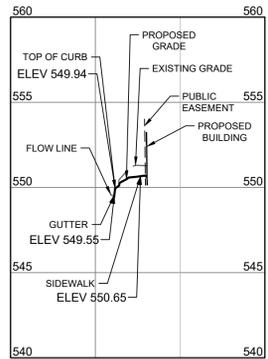
10 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



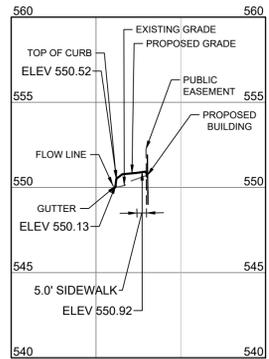
11 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



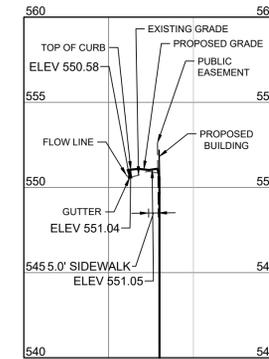
12 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



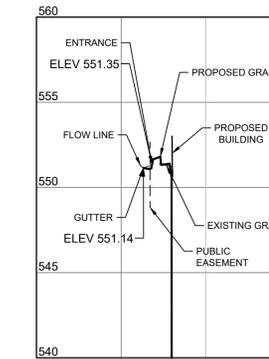
13 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



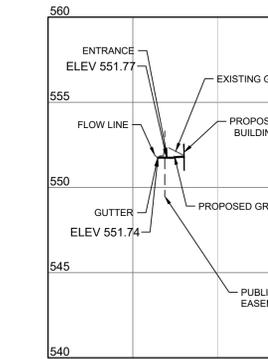
14 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



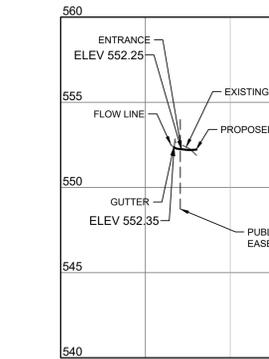
15 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



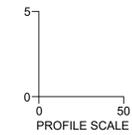
16 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



17 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



18 PROFILE
HORIZ SCALE: 1"=50'
VERT SCALE: 1"=5'



- NOTES:
1. ALL PROPOSED CURBS SHALL BE CITY STANDARD CG-2/CG-6 AS APPLICABLE PER DETAILS ON SHEET C1.2
 2. ALL PROPOSED SIDEWALK SHALL BE CITY STANDARD PER DETAIL ON SHEET C1.2
 3. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2% AND MAXIMUM LOGITUDINAL SLOPE OF 5%.



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2117 IVY ROAD FINAL SITE PLAN
 2117 IVY ROAD
 CHARLOTTESVILLE, VA 22903

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
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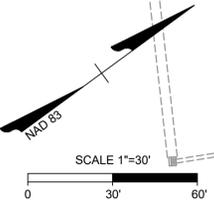
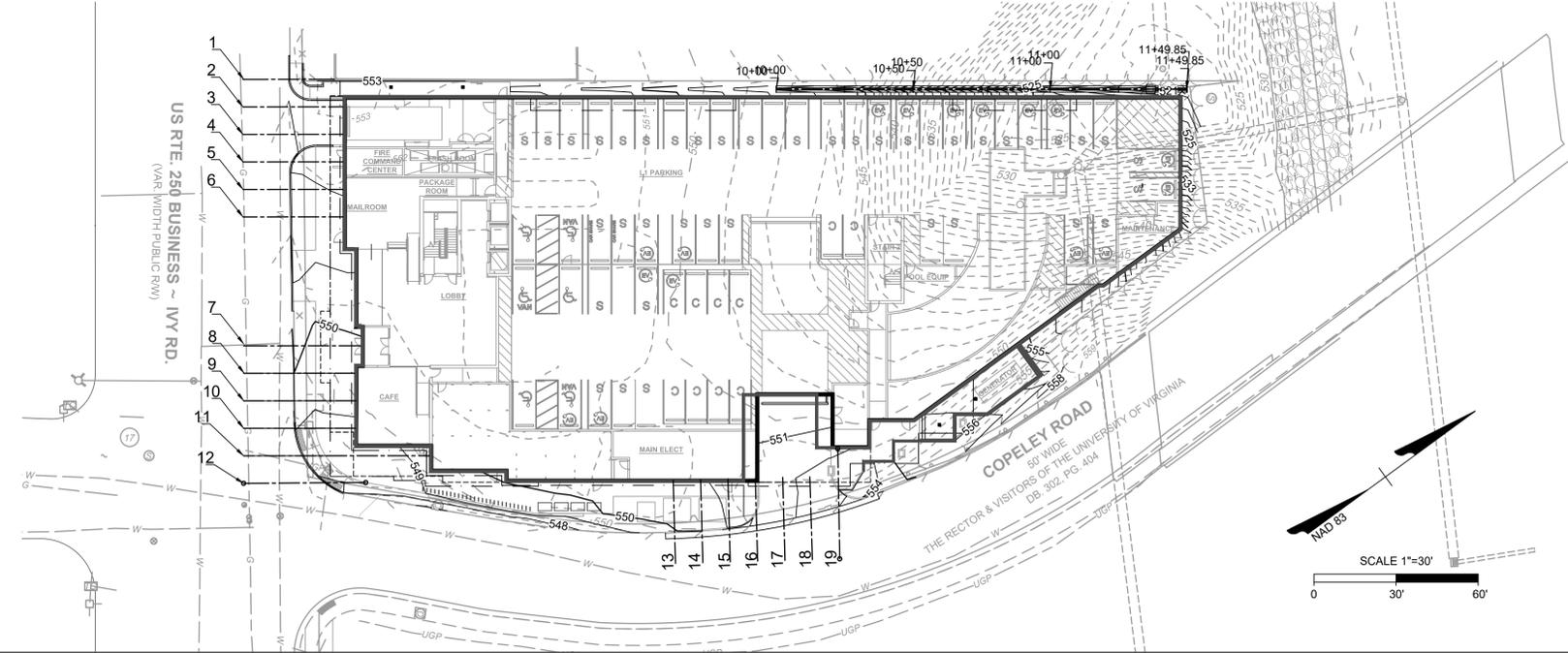
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ROAD SECTIONS

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9/20/2024	CITY COMMENTS	4
11/26/2024	EASEMENT PLAN	5



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SCALES AS NOTED ON THIS DRAWING ARE VALID IN THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF WORKMAN SHALL BE AS SHOWN.

SHEET NAME

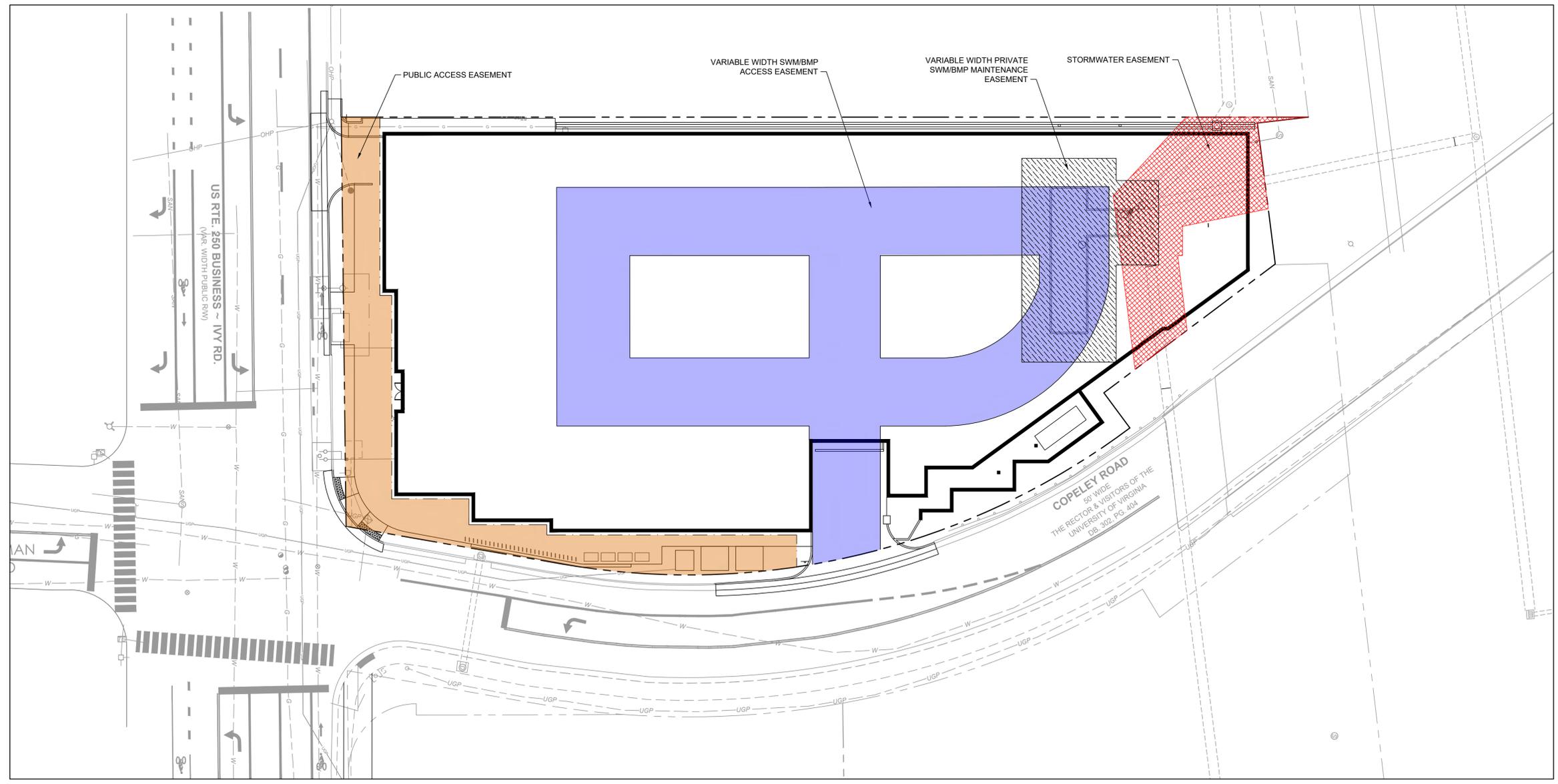
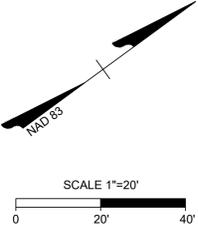
EASEMENT PLAN

JOB NUMBER: 54985

C4.2
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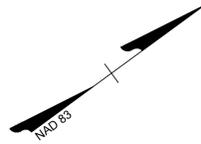
LEGENDS:

- VARIABLE WIDTH SWM/BMP ACCESS EASEMENT
- PUBLIC STORMWATER EASEMENT
- VARIABLE WIDTH PRIVATE SWM/BMP MAINTENANCE EASEMENT
- PUBLIC ACCESS EASEMENT



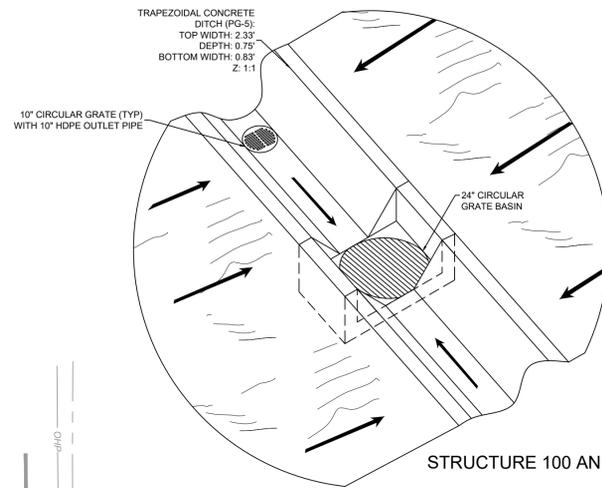
GENERAL NOTES:

FOR ALL PROPOSED RETAINING WALLS AND FOUNDATIONS, IF THERE ARE CITY UTILITY LINES IN THE VICINITY, PLEASE ADD A NOTE THAT THE WALLS/FOUNDATIONS SHALL BE DESIGNED SUCH THAT THE CITY CAN EXCAVATE A TRENCH CENTERED ON OUR INFRASTRUCTURE, 5-FEET WIDE FOR PIPES AND EXTENDING AT LEAST 3-FEET FROM THE OUTSIDE EDGE FOR STRUCTURES, TO A DEPTH OF 1-FOOT BELOW THE INVERT, AND THIS EXCAVATION WILL NOT AFFECT THE WALL/FOUNDATION, ITS FOOTER, TIEBACKS OR ANY OTHER FEATURE RELATED TO ITS STRUCTURAL INTEGRITY



SCALE 1"=20'
0 20' 40'

- SPOT GRADING LEGEND**
- BC = BOTTOM OF CURB
 - SWLK = SIDEWALK
 - TC = TOP OF CURB
 - GND = GROUND
 - TW = TOP OF WALL
 - BW = BOTTOM OF WALL
 - EX = EXISTING GROUND



2016 ROAD & BRIDGE STANDARDS

INDICATES CHANNEL WHERE WEIR REINFORCEMENT IS NOT REQUIRED.

SLOPE	SQUARE YARDS PER LIN. FT. OF PAVED CHANNEL	
	12" RCP	18" RCP
0.5%	1.12	1.12
1.0%	1.12	1.12
1.5%	1.12	1.12
2.0%	1.12	1.12
2.5%	1.12	1.12
3.0%	1.12	1.12
3.5%	1.12	1.12
4.0%	1.12	1.12
4.5%	1.12	1.12
5.0%	1.12	1.12
5.5%	1.12	1.12
6.0%	1.12	1.12
6.5%	1.12	1.12
7.0%	1.12	1.12
7.5%	1.12	1.12
8.0%	1.12	1.12
8.5%	1.12	1.12
9.0%	1.12	1.12
9.5%	1.12	1.12
10.0%	1.12	1.12

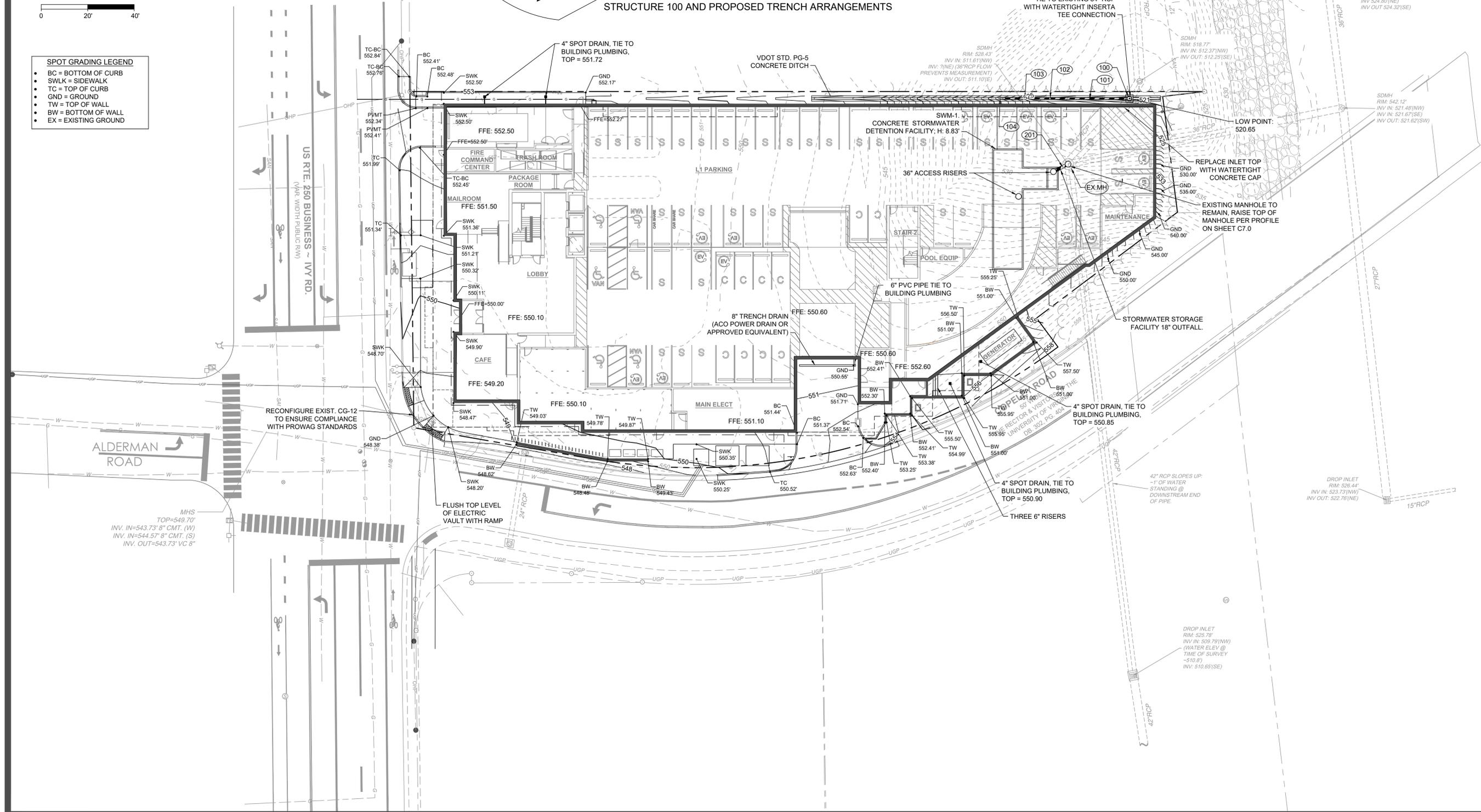
SECTION A-A

ELEVATION

STANDARD PAVED DITCHES

2016 ROAD & BRIDGE STANDARDS

STRUCTURE 100 AND PROPOSED TRENCH ARRANGEMENTS



REVISIONS

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
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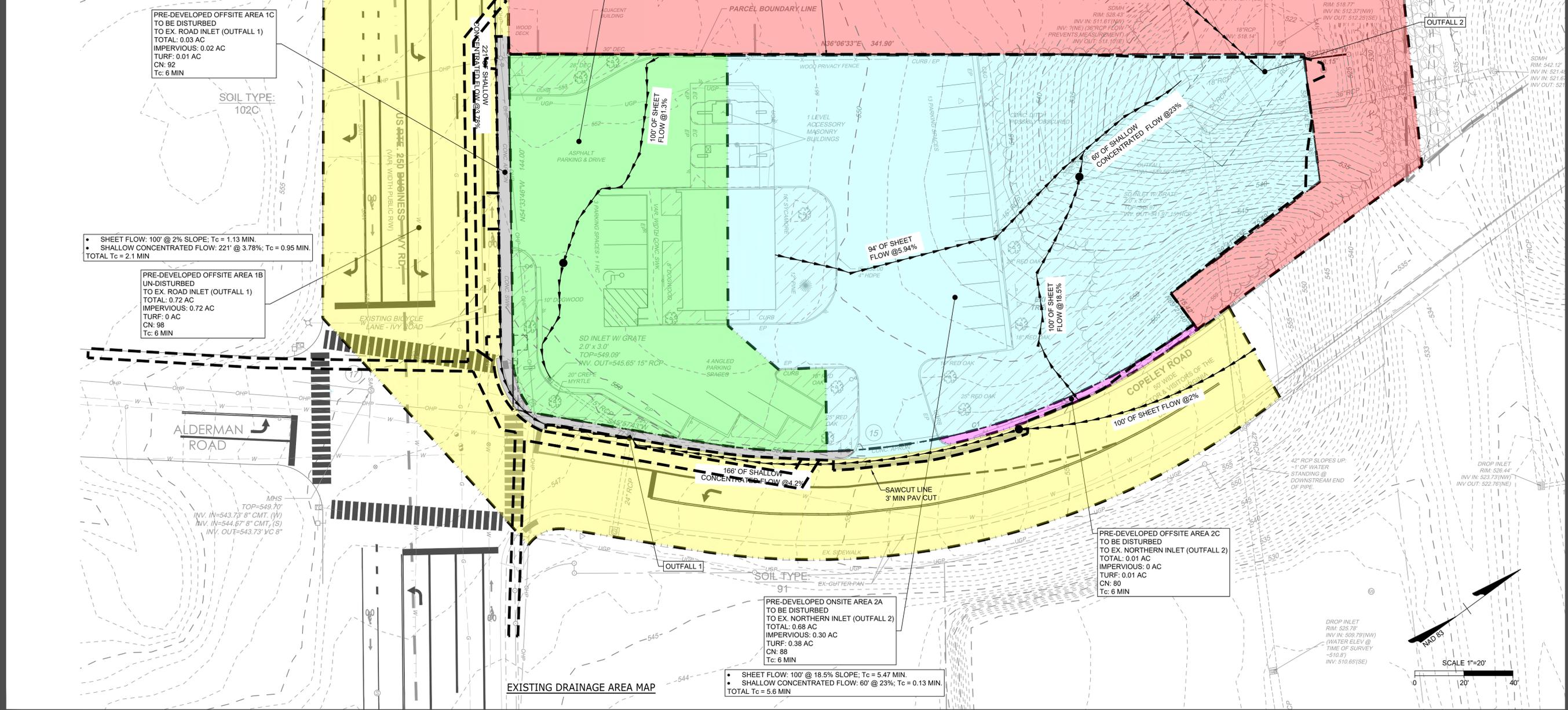
GRADING PLAN & DRAINAGE PLAN

JOB NUMBER: 54985

C5.0
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- LEGENDS**
- DRAINAGE DIVIDE
 - LIMITS OF DISTURBANCE
 - T_c FLOW PATH
 - ONSITE EXISTING PERVIOUS AREAS
 - DRAINAGE AREA 1A (TO EXISTING CURB INLET ON COPELEY ROAD, OUTFALL 1)
 - DRAINAGE AREA 1B (TO EXISTING CURB INLET ON COPELEY ROAD, OUTFALL 1)
 - DRAINAGE AREA 1C (TO EXISTING CURB INLET ON COPELEY ROAD, OUTFALL 1)
 - DRAINAGE AREA 2A (TO EXISTING NORTHERN DRAINAGE INLET & EX. OUTFALL 2)
 - DRAINAGE AREA 2B (TO EXISTING NORTHERN DRAINAGE INLET & EX. OUTFALL 2)
 - DRAINAGE AREA 2C (TO EXISTING NORTHERN DRAINAGE INLET & EX. OUTFALL 2)

NOTES:
 1. PROJECT SITE IS DRAINING TO EXISTING 60" RCP.



• SHEET FLOW: 100' @ 1.3% SLOPE; T_c = 1.34 MIN.
 • SHALLOW CONCENTRATED FLOW: 49' @ 4.2%; T_c = 0.2 MIN.
 • PIPE FLOW: 40' @ 3.8% SLOPE; T_c = 0.07 MIN.
 TOTAL T_c = 1.61 MIN

PRE-DEVELOPED ONSITE AREA 1A TO BE DISTURBED TO EX. ROAD INLET (OUTFALL 1)
 TOTAL: 0.34 AC
 IMPERVIOUS: 0.27 AC
 TURF: 0.07
 CN: 94
 T_c: 6 MIN

• SHEET FLOW: 100' @ 2.37% SLOPE; T_c = 1.06 MIN.
 • SHALLOW CONCENTRATED FLOW: 165' @ 7.7%; T_c = 0.49 MIN.
 • SHALLOW CONCENTRATED FLOW: 63' @ 28.4%; T_c = 0.12 MIN.
 TOTAL T_c = 1.7 MIN

PRE-DEVELOPED OFFSITE AREA 2B UNDISTURBED TO EX. NORTHERN INLET (OUTFALL 2)
 TOTAL: 0.85 AC
 IMPERVIOUS: 0.59 AC
 TURF: 0.26 AC
 CN: 92
 T_c: 6 MIN

PRE-DEVELOPED OFFSITE AREA 1C TO BE DISTURBED TO EX. ROAD INLET (OUTFALL 1)
 TOTAL: 0.03 AC
 IMPERVIOUS: 0.02 AC
 TURF: 0.01 AC
 CN: 92
 T_c: 6 MIN

• SHEET FLOW: 100' @ 2% SLOPE; T_c = 1.13 MIN.
 • SHALLOW CONCENTRATED FLOW: 221' @ 3.78%; T_c = 0.95 MIN.
 TOTAL T_c = 2.1 MIN

PRE-DEVELOPED OFFSITE AREA 1B UN-DISTURBED TO EX. ROAD INLET (OUTFALL 1)
 TOTAL: 0.72 AC
 IMPERVIOUS: 0.72 AC
 TURF: 0 AC
 CN: 98
 T_c: 6 MIN

94' OF SHEET FLOW @ 5.94%

60' OF SHALLOW CONCENTRATED FLOW @ 23%

100' OF SHEET FLOW @ 18.5%

166' OF SHALLOW CONCENTRATED FLOW @ 4.2%

PRE-DEVELOPED OFFSITE AREA 2C TO BE DISTURBED TO EX. NORTHERN INLET (OUTFALL 2)
 TOTAL: 0.01 AC
 IMPERVIOUS: 0 AC
 TURF: 0.01 AC
 CN: 80
 T_c: 6 MIN

• SHEET FLOW: 100' @ 18.5% SLOPE; T_c = 5.47 MIN.
 • SHALLOW CONCENTRATED FLOW: 60' @ 23%; T_c = 0.13 MIN.
 TOTAL T_c = 5.6 MIN

PRE-DEVELOPED ONSITE AREA 2A TO BE DISTURBED TO EX. NORTHERN INLET (OUTFALL 2)
 TOTAL: 0.68 AC
 IMPERVIOUS: 0.30 AC
 TURF: 0.38 AC
 CN: 88
 T_c: 6 MIN



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 2117 IVY ROAD
 CHARLOTTESVILLE, VA 22903

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
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9/20/2024	CITY COMMENTS	4



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EXISTING SWM PLAN

JOB NUMBER: 54985

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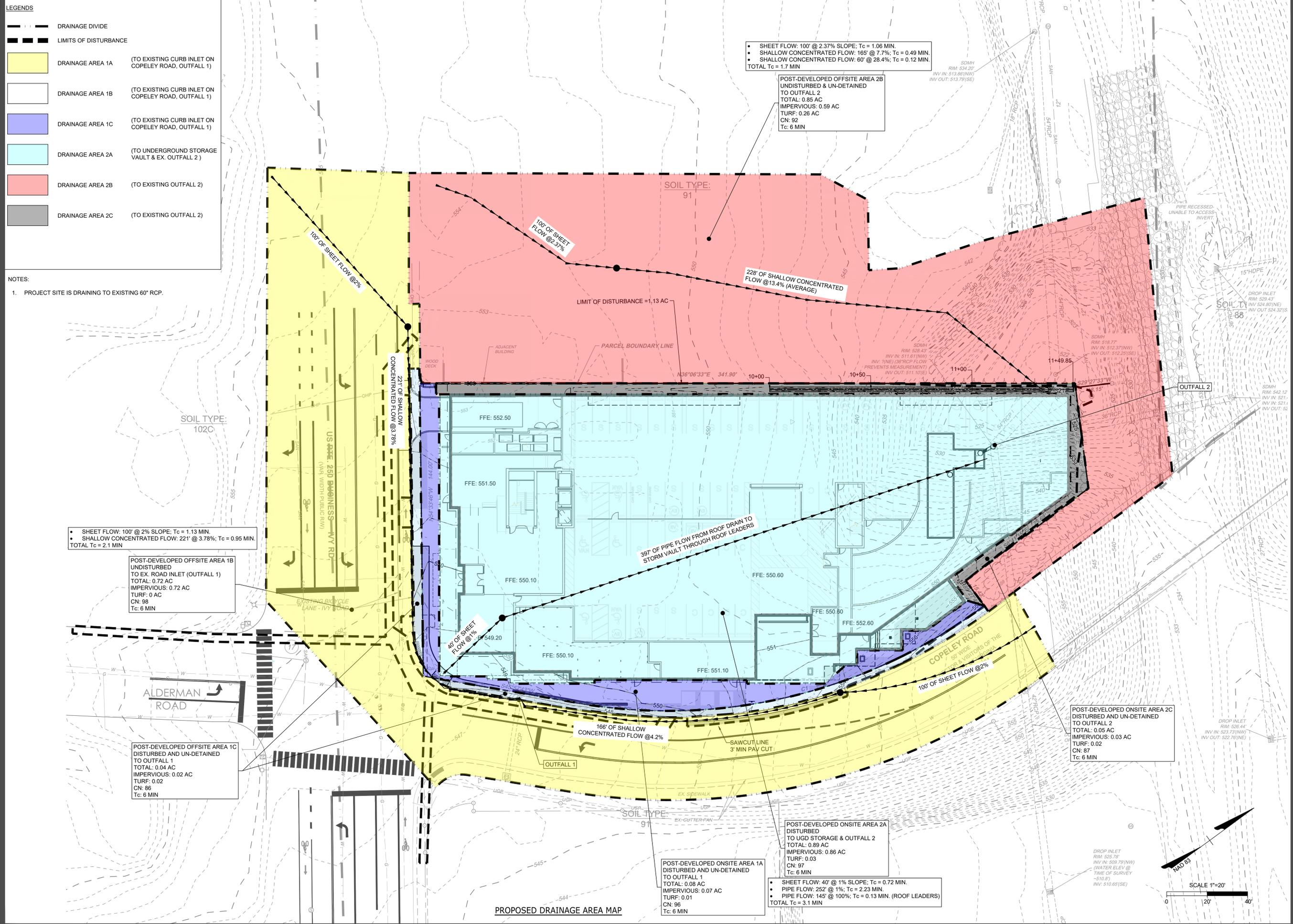
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LEGENDS

- DRAINAGE DIVIDE
- LIMITS OF DISTURBANCE
- DRAINAGE AREA 1A (TO EXISTING CURB INLET ON COPELEY ROAD, OUTFALL 1)
- DRAINAGE AREA 1B (TO EXISTING CURB INLET ON COPELEY ROAD, OUTFALL 1)
- DRAINAGE AREA 1C (TO EXISTING CURB INLET ON COPELEY ROAD, OUTFALL 1)
- DRAINAGE AREA 2A (TO UNDERGROUND STORAGE VAULT & EX. OUTFALL 2)
- DRAINAGE AREA 2B (TO EXISTING OUTFALL 2)
- DRAINAGE AREA 2C (TO EXISTING OUTFALL 2)

NOTES:

- PROJECT SITE IS DRAINING TO EXISTING 60" RCP.



• SHEET FLOW: 100' @ 2.37% SLOPE; Tc = 1.06 MIN.
 • SHALLOW CONCENTRATED FLOW: 165' @ 7.7%; Tc = 0.49 MIN.
 • SHALLOW CONCENTRATED FLOW: 60' @ 28.4%; Tc = 0.12 MIN.
 TOTAL Tc = 1.7 MIN

POST-DEVELOPED OFFSITE AREA 2B
 UNDISTURBED & UN-DETAINED
 TO OUTFALL 2
 TOTAL: 0.85 AC
 IMPERVIOUS: 0.59 AC
 TURF: 0.26 AC
 CN: 92
 Tc: 6 MIN

• SHEET FLOW: 100' @ 2% SLOPE; Tc = 1.13 MIN.
 • SHALLOW CONCENTRATED FLOW: 221' @ 3.78%; Tc = 0.95 MIN.
 TOTAL Tc = 2.1 MIN

POST-DEVELOPED OFFSITE AREA 1B
 UNDISTURBED
 TO EX. ROAD INLET (OUTFALL 1)
 TOTAL: 0.72 AC
 IMPERVIOUS: 0.72 AC
 TURF: 0 AC
 CN: 98
 Tc: 6 MIN

POST-DEVELOPED OFFSITE AREA 1C
 DISTURBED AND UN-DETAINED
 TO OUTFALL 1
 TOTAL: 0.04 AC
 IMPERVIOUS: 0.02 AC
 TURF: 0.02
 CN: 86
 Tc: 6 MIN

POST-DEVELOPED ONSITE AREA 2C
 DISTURBED AND UN-DETAINED
 TO OUTFALL 2
 TOTAL: 0.05 AC
 IMPERVIOUS: 0.03 AC
 TURF: 0.02
 CN: 87
 Tc: 6 MIN

POST-DEVELOPED ONSITE AREA 2A
 DISTURBED
 TO UGD STORAGE & OUTFALL 2
 TOTAL: 0.89 AC
 IMPERVIOUS: 0.86 AC
 TURF: 0.03
 CN: 97
 Tc: 6 MIN

POST-DEVELOPED ONSITE AREA 1A
 DISTURBED AND UN-DETAINED
 TO OUTFALL 1
 TOTAL: 0.08 AC
 IMPERVIOUS: 0.07 AC
 TURF: 0.01
 CN: 96
 Tc: 6 MIN

• SHEET FLOW: 40' @ 1% SLOPE; Tc = 0.72 MIN.
 • PIPE FLOW: 252' @ 1%; Tc = 2.23 MIN.
 • PIPE FLOW: 145' @ 100%; Tc = 0.13 MIN. (ROOF LEADERS)
 TOTAL Tc = 3.1 MIN

PROPOSED DRAINAGE AREA MAP



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PROPOSED SWM PLAN

JOB NUMBER: 54985

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Project Name: **2117 Ivy Road**
 Date: **1/7/2024**
 Linear Development Project? **No**

CLEAR ALL
 (Ctrl+Shift+R)
 data input cells
 constant values
 calculation cells
 final results

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → **1.13**
 Maximum reduction required: **20%**
 The site's net increase in impervious cover (acres) is: **0.36**
 Post-Development TP Load Reduction for Site (lb/yr): **0.94**

Check:
 BMP Design Specifications List: **2013 Draft Stds & Specs**
 Linear project? **No**
 Land cover areas entered correctly? **✓**
 Total disturbed area entered? **✓**

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed forest/open space					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.45	0.45
Impervious Cover (acres)				0.68	0.68
					1.13

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) -- undisturbed, protected forest/open space or reforested					0.00
Managed Turf (acres) -- disturbed, graded for yards or other turf to be				0.09	0.09
Impervious Cover (acres)				1.04	1.04
Area Check	OK.	OK.	OK.	OK.	1.13

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) EMC (mg/L)	0.26
Total Nitrogen (TN) EMC (mg/L)	1.86
Target TP Load (lb/acre/yr)	0.41
Pj (unitless correction factor)	0.90

Runoff Coefficients (Rv)

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

LAND COVER SUMMARY -- PRE-REDEVELOPMENT

Land Cover Summary-Pre		
Pre-ReDevelopment	Listed	Adjusted ¹
Forest/Open Space Cover (acres)	0.00	0.00
Weighted Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	0.45	0.09
Weighted Rv(turf)	0.25	0.25
% Managed Turf	40%	12%
Impervious Cover (acres)	0.68	0.68
Rv(impervious)	0.95	0.95
% Impervious	60%	88%
Total Site Area (acres)	1.13	0.77
Site Rv	0.67	0.87

LAND COVER SUMMARY -- POST DEVELOPMENT

Land Cover Summary-Post (Final)		Land Cover Summary-Post		Land Cover Summary-Post	
Post ReDev. & New Impervious	Post-ReDevelopment	Post-ReDevelopment	Post-ReDevelopment	Post-Development New Impervious	Post-Development New Impervious
Forest/Open Space Cover (acres)	0.00	0.00	0.00		
Weighted Rv(forest)	0.00	0.00	0.00		
% Forest	0%	0%	0%		
Managed Turf Cover (acres)	0.09	0.09	0.09		
Weighted Rv (turf)	0.25	0.25	0.25		
% Managed Turf	8%	12%	12%		
Impervious Cover (acres)	1.04	0.68	0.68	New Impervious Cover (acres)	0.36
Rv(impervious)	0.95	0.95	0.95	Rv(impervious)	0.95
% Impervious	92%	88%	88%		
Final Site Area (acres)	1.13	Total ReDev. Site Area (acres)	0.77		
Final Post Dev Site Rv	0.89	ReDev Site Rv	0.87		

Treatment Volume and Nutrient Load

Pre-ReDevelopment Treatment Volume (acre-ft)	0.0632	0.0557
Pre-ReDevelopment Treatment Volume (cubic feet)	2,753	2,427
Pre-ReDevelopment TP Load (lb/yr)	1.73	1.52
Pre-ReDevelopment TP Load per acre (lb/acre/yr)	1.53	1.98
Baseline TP Load (lb/yr) (0.41 lbs/acre/yr applied to pre-redevelopment area excluding pervious land proposed for new impervious cover)		0.32

Treatment Volume and Nutrient Load

Final Post-Development Treatment Volume (acre-ft)	0.0842	Post-ReDevelopment Treatment Volume (acre-ft)	0.0557	Post-Development Treatment Volume (acre-ft)	0.0285
Final Post-Development Treatment Volume (cubic feet)	3,668	Post-ReDevelopment Treatment Volume (cubic feet)	2,427	Post-Development Treatment Volume (cubic feet)	1,241
Final Post-Development TP Load (lb/yr)	2.30	Post-ReDevelopment TP Load (lb/yr)*	1.52	Post-Development TP Load (lb/yr)	0.78
Final Post-Development TP Load per acre (lb/acre/yr)	2.04	Post-ReDevelopment TP Load per acre (lb/acre/yr)	1.98		
		Max. Reduction Required (Below Pre-ReDevelopment Load)	20%		
		TP Load Reduction Required for Redeveloped Area (lb/yr)	0.30	TP Load Reduction Required for New Impervious Area (lb/yr)	0.63

¹ Adjusted Land Cover Summary:
 Pre ReDevelopment land cover minus pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover.

Adjusted total acreage is consistent with Post-ReDevelopment acreage (minus acreage of new impervious cover).

Column 1 shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lbs/acre/year).

Post-Development Requirement for Site Area
 TP Load Reduction Required (lb/yr) **0.94**

Nitrogen Loads (Informational Purposes Only)

Pre-ReDevelopment TN Load (lb/yr)	12.38	Final Post-Development TN Load (Post-ReDevelopment & New Impervious) (lb/yr)	16.49
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3122 W MARSHALL ST
 SUITE 200
 RICHMOND, VA 23230
 PHONE: 804.608.2774
 dwelldesignstudio.com



2117 IVY ROAD FINAL SITE PLAN
 2117 IVY ROAD
 CHARLOTTESVILLE, VA 22903

DATE	REVISION	DESCRIPTION
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4

ARCHITECT SEAL



NOT FOR CONSTRUCTION

STORMWATER CALCULATIONS

JOB NUMBER: 54985

C6.2
 NOT FOR CONSTRUCTION

WATER QUANTITY NARRATIVE

EXISTING
IN THE EXISTING CONDITION, RUNOFF LEAVES THE SITE VIA 2 OUTFALL LOCATIONS. SITE OUTFALL 1 DRAINS TO THE EXISTING CURB INLET ALONG COPELEY ROAD AND RUNOFF FROM SITE OUTFALL 2 LEAVES THE SITE THROUGH AN INLET WHICH IS LOCATED ON THE NORTH SIDE OF SITE AND MOST PROBABLY CONNECTING TO EXISTING 60" CONCRETE PIPE.

PROPOSED
MAJORITY OF RUNOFF FROM THE PROPOSED RE-DEVELOPMENT WILL (DRAINAGE AREA 2A) BE COLLECTED AND STORED IN AN UNDERGROUND CONCRETE BOX, WHICH WILL BE RELEASED AS CONTROLLED FLOW TO SITE OUTFALL 2 OR EXISTING 60" CONCRETE PIPE.

RUNOFF FROM OFF-SITE AND ON-SITE DISTURBED AREAS DELINEATED AS 1A AND 1C WILL DRAIN TO OUTFALL 1 (EXISTING CURB INLET).

RUNOFF FROM NORTHERN AND SOUTHERN UN-DISTURBED AREAS WILL STILL BE DRAINING TO OUTFALL 2 VIA A PROPOSED CONCRETE DITCH AND PROPOSED 24" NYLOPAST GRATE INLET # 100.

CHANNEL PROTECTION: SINCE THE SITE DISCHARGES TO A MANMADE CHANNEL AT POINT OF ANALYSIS 1 AND PER 9VAC25-860-66-B1b, CODE SECTION 9VAC25-870-66-B.3 (ENERGY BALANCE) CAN BE USED TO SHOW COMPLIANCE. THE ALLOWABLE 1-YR PEAK FLOW RATE FOR THIS OUTFALL UTILIZING THE ENERGY BALANCE EQUATION WAS DETERMINED. THE UGD SYSTEM DETAINS THE 1-YR POST-DEVELOPED PEAK FLOW.

FLOOD PROTECTION: FLOOD PROTECTION CRITERIA AS DESCRIBED IN 9VAC28-870-66 C 2a HAVE BEEN MET THROUGH DEMONSTRATION THAT THE POST-DEVELOPED PEAK FLOW RATE FROM THE 10-YEAR 24-HOUR STORM EVENT IS CONFINED WITHIN THE STORMWATER CONVEYANCE SYSTEM. THE UGD SYSTEM DETAINS THE 10-YR POST-DEVELOPED PEAK FLOW.

WATER QUALITY ANALYSIS

SITE DATA
PRE DEVELOPED AREA
FOREST/OPEN SPACE = 0.00 ACRES
MANAGED TURF = 0.45 ACRES (SOIL D)
IMPERVIOUS = 0.68 ACRES (SOIL D)

PRE DEVELOPED LOAD (TP) (LB/YR) = 1.73

POST DEVELOPED AREA
FOREST/OPEN SPACE = 0.00 ACRES
MANAGED TURF = 0.09 ACRES
IMPERVIOUS = 1.04 ACRES

POST DEVELOPED LOAD (TP) (LB/YR) = 2.30
MAXIMUM PERCENT REDUCTION REQUIRED FOR REDEVELOPMENT = 20%

TOTAL LOAD REDUCTION REQUIRED (LB/YR) = 0.94 LB/YR

0.91 LB/YR REMAINING REMOVAL REQUIRED NUTRIENT CREDITS TO BE PURCHASED FROM A DEQ-APPROVED NUTRIENT CREDIT BANK IN ACCORDANCE WITH VIRGINIA CODE 62.1-44.15.35



"Tomorrow's Natural Resources Today"

Chesapeake Bay Nutrient Land Trust, LLC.

March 5, 2024

Timmons Group
ATTN: Mohammad Akmal, EIT
608 Preston Avenue, Suite 200
Charlottesville, VA 22903

RE: CBNLT/Reynolds Farm Nutrient Facility – Nutrient Credit Availability

Project Reference: 2117 Ivy Road, City of Charlottesville

This letter is to confirm the availability of authorized nutrient credits sufficient to meet your project requirements at our Reynolds Farm nutrient facility, which is registered with the Virginia Department of Environmental Quality (DEQ). These nutrient credits are generated and managed under the terms of the Reynolds Farm Nutrient Reduction Implementation Plan dated October 16, 2019 and authorized by DEQ on December 1, 2020.

The Reynolds Farm project has been authorized to provide nutrient credits for use in the James River watershed including HUCs 02080201, 02080202, 02080203, 02080204, 02080205 and 02080207. These credits are transferable to those entities regulated under DEQ's Stormwater Management Program in accordance with VA Code § 62.1-44.15:35. Currently the Reynolds Farm facility has **83.47** pounds of phosphorus credits available and will be able to meet the phosphorus removal requirement for your project.

If we can provide further assistance please feel free to contact our office.

Sincerely,

Chesapeake Bay Nutrient Land Trust, LLC

By Its Manager
EarthSource Solutions, Inc.

Scott A. Reed

Scott A. Reed
Vice President

Chesapeake Bay Nutrient Land Trust, LLC. • 5735 S. Laburnum Avenue • Richmond, VA 23231 • P: 804.222.5114 • www.cbnil.com

WATER QUANTITY ANALYSIS SITE OUTFALL 1

DRAINAGE AREA ANALYSIS (PRE-DEVELOPED)

PRE DA 1A (ON-SITE, TO BE DISTURBED)
AREA = 0.34 ACRES
IMPERVIOUS = 0.27 ACRES
TURF = 0.07 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	1.283	0.063
10 YEAR	2.493	

PRE DA 1B (OFF-SITE, TO BE UN-DISTURBED)

AREA = 0.72 ACRES
IMPERVIOUS = 0.72 ACRES
TURF = 0.0 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	2.950	0.158
10 YEAR	5.446	

PRE DA 1C (OFF-SITE, TO BE DISTURBED)

AREA = 0.03 ACRES
IMPERVIOUS = 0.02 ACRES
TURF = 0.01 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	0.107	0.005
10 YEAR	0.215	

TOTAL COMBINED FLOW TO OUTFALL 1 (DRAINAGE AREA 1A+1B+1C)

	Q (CFS)	V (AC-FT)
1 YEAR	4.340	0.227
10 YEAR	8.154	

COMBINED FLOW TO OUTFALL 1 - DISTURBED AREAS (DRAINAGE AREA 1A+1C)

	Q (CFS)	V (AC-FT)
1 YEAR	1.389	0.069
10 YEAR	2.708	

DRAINAGE AREA ANALYSIS (POST-DEVELOPED)

POST DA 1A (ON-SITE, TO BE DISTURBED)
AREA = 0.08 ACRES
IMPERVIOUS = 0.07 ACRES
TURF = 0.01 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	0.317	0.016
10 YEAR	0.598	

POST DA 1B (OFF-SITE, TO BE UN-DISTURBED)

AREA = 0.72 ACRES
IMPERVIOUS = 0.72 ACRES
TURF = 0.0 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	2.950	0.158
10 YEAR	5.446	

POST DA 1C (OFF-SITE, TO BE DISTURBED)

AREA = 0.04 ACRES
IMPERVIOUS = 0.02 ACRES
TURF = 0.02 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	0.085	0.004
10 YEAR	0.194	

TOTAL COMBINED FLOW TO OUTFALL 1 (DRAINAGE AREA 1A+1B+1C)

	Q (CFS)	V (AC-FT)
1 YEAR	3.353	0.178
10 YEAR	6.238	

COMBINED FLOW TO OUTFALL 1 - DISTURBED AREAS (DRAINAGE AREA 1A+1C)

	Q (CFS)	V (AC-FT)
1 YEAR	0.402	0.02
10 YEAR	0.792	

CHANNEL PROTECTION (ENERGY BALANCE): OUTFALL 1

$$Q_{DEVELOPED} \leq 0.80 * (Q_{PRE-DEVELOPED} * RV_{PRE-DEVELOPED}) / RV_{DEVELOPED}$$

OK 3.353 CFS \leq 0.80 * (1.389 CFS * 0.069 AC-FT / (0.02 AC-FT)) + 2.950 (UN-DISTURBED DA 1B)
3.353 CFS \leq 6.784 CFS

FLOOD PROTECTION:

$$POST-DEVELOPED Q_{10} \leq PRE-DEVELOPED Q_{10}$$

OK 6.238 CFS \leq 8.154 CFS

WATER QUANTITY ANALYSIS SITE OUTFALL 2

DRAINAGE AREA ANALYSIS (PRE-DEVELOPED)

PRE DA 2A (ON-SITE, TO BE DISTURBED)
AREA = 0.68 ACRES
IMPERVIOUS = 0.30 ACRES
TURF = 0.38 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	2.098	0.098
10 YEAR	4.569	

PRE DA 2B (OFF-SITE, TO BE UN-DISTURBED)

AREA = 0.85 ACRES
IMPERVIOUS = 0.59 ACRES
TURF = 0.26 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	3.080	0.146
10 YEAR	6.089	

PRE DA 2C (OFF-SITE, TO BE DISTURBED)

AREA = 0.01 ACRES
IMPERVIOUS = 0.0 ACRES
TURF = 0.01 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	0.022	0.001
10 YEAR	0.056	

TOTAL COMBINED FLOW TO OUTFALL 2 (DRAINAGE AREA 2A+2B+2C+2D)

	Q (CFS)	V (AC-FT)
1 YEAR	5.142	0.246
10 YEAR	10.71	

COMBINED FLOW TO OUTFALL 2 - DISTURBED AREAS (DRAINAGE AREA 2A+2C)

	Q (CFS)	V (AC-FT)
1 YEAR	2.12	0.099
10 YEAR	4.625	

DRAINAGE AREA ANALYSIS (POST-DEVELOPED)

PRE DA 2A (ON-SITE, DISTURBED, DETAINED, ROUTED TROUGH DETENTION BOX)
AREA = 0.89 ACRES
IMPERVIOUS = 0.86 ACRES
TURF = 0.03 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	3.593	0.188
10 YEAR	6.697	

DETENTION BOX
1 YEAR FLOW 0.503 CFS
10 YEAR FLOW 4.131 CFS

PRE DA 2B (OFF-SITE, UN-DISTURBED, UN-DETAINED)

AREA = 0.85 ACRES
IMPERVIOUS = 0.59 ACRES
TURF = 0.26 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	3.023	0.146
10 YEAR	6.083	

PRE DA 2C (ON-SITE, DISTURBED, UN-DETAINED)

AREA = 0.05 ACRES
IMPERVIOUS = 0.03 ACRES
TURF = 0.02 ACRES
Tc = 6.0 MIN.

	Q (CFS)	V (AC-FT)
1 YEAR	0.148	0.007
10 YEAR	0.330	

TOTAL COMBINED FLOW TO OUTFALL 2 (DRAINAGE AREA 2A+2B+2C)

	Q (CFS)	V (AC-FT)
1 YEAR	3.583	0.340
10 YEAR	9.966	

COMBINED FLOW TO OUTFALL 2 - DISTURBED AREAS (DRAINAGE AREA 2C+DETENTION)

	Q (CFS)	V (AC-FT)
1 YEAR	0.594	0.194
10 YEAR	4.382	

CHANNEL PROTECTION (ENERGY BALANCE): OUTFALL 2

$$Q_{DEVELOPED} \leq 0.80 * (Q_{PRE-DEVELOPED} * RV_{PRE-DEVELOPED}) / RV_{DEVELOPED}$$

OK 3.583 CFS \leq 0.80 * (2.120 CFS * 0.099 AC-FT / (0.194 AC-FT)) + 3.023 (UN-DISTURBED DA 2B)
3.583 CFS \leq 3.888 CFS

FLOOD PROTECTION:

$$POST-DEVELOPED Q_{10} \leq PRE-DEVELOPED Q_{10}$$

OK 9.966 CFS \leq 10.710 CFS



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CONSULT



YOUR VISION ACHIEVED THROUGH OURS.

ARCHITECTURE



2117 IVY ROAD FINAL SITE PLAN
2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

SUBMITTAL HISTORY

DATE	DESCRIPTION	COUNT
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4

PROFESSIONAL SEAL

SEAL NO.



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SCALES AND NOTES ON THIS DRAWING ARE VALID IN THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF DIMENSIONS ARE IN INCHES.

SHEET NAME

STORMWATER CALCULATIONS

JOB NUMBER: 54985

C6.3

NOT FOR CONSTRUCTION

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3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4

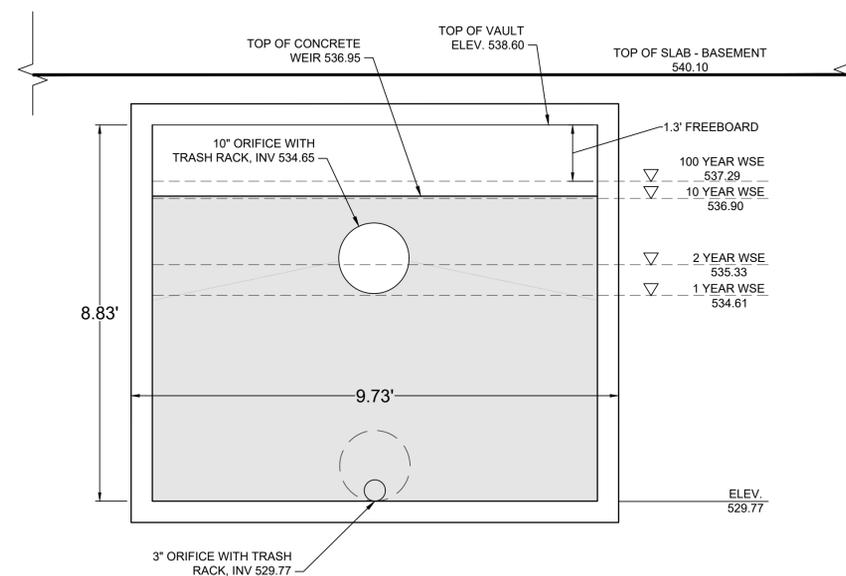
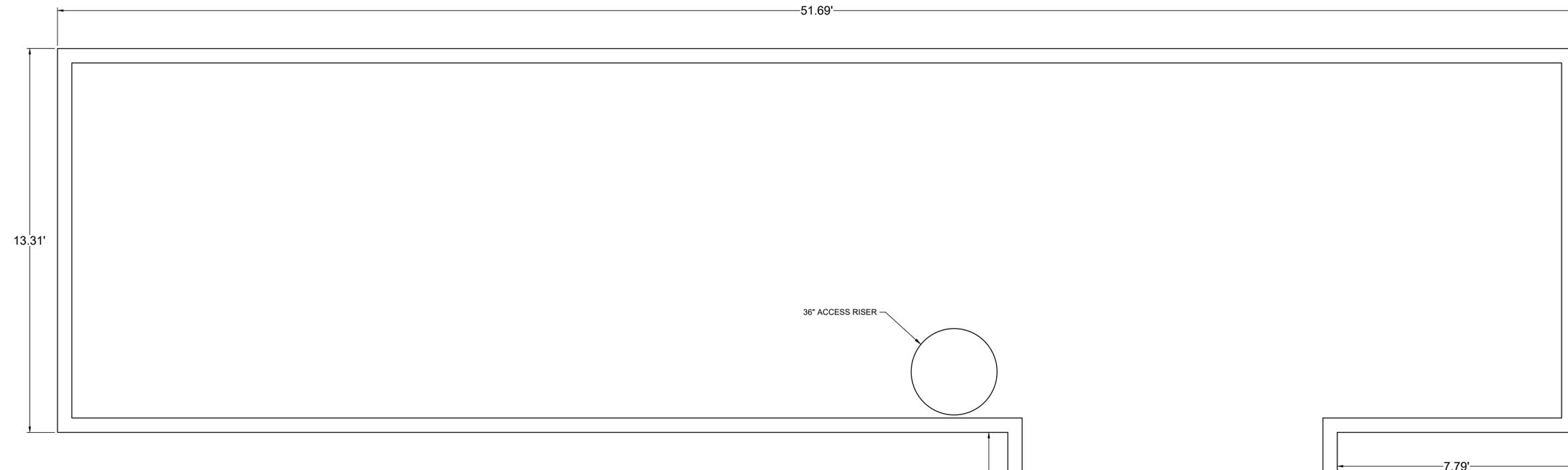


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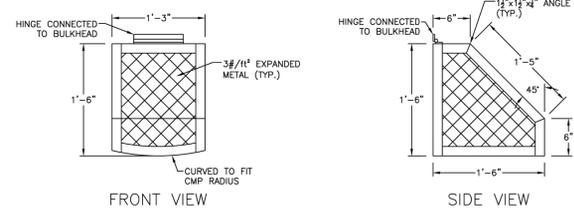
SCALES SHOWN ON THIS DRAWING ARE VALID IN THE ORIGINAL DRAWING ONLY. THE DIMENSIONS OF DIMENSIONS ARE SHOWN.

DETENTION SYSTEM INSPECTION/MAINTENANCE SCHEDULE:

1. INSPECT PIPE SYSTEM BOTH UPSTREAM AND DOWNSTREAM OF WEIR PLATE CONTROL STRUCTURE FOR SEDIMENT BUILDUP ON A YEARLY BASIS.
2. INSPECT WEIR PLATE CONTROL STRUCTURE FOR CLOGGED ORIFICES ON A YEARLY BASIS. IF ANY CONTROL ORIFICES ARE CLOGGED, REMOVE DEBRIS.
3. EACH DETENTION PIPE SHALL BE CLEANED OUT ANNUALLY, OR MORE FREQUENTLY IF ANNUAL INSPECTION/CLEANING SHOWS MORE SEDIMENT THAN ANTICIPATED.
4. FOR STRUCTURAL DETAILS, REFER TO STRUCTURAL DRAWINGS.
5. THESE DETAILS ARE NOT SCALED.



**SWM-1- CONCRETE STORAGE VAULT
CONTROL STRUCTURE SECTION VIEW / WEIR DETAIL**

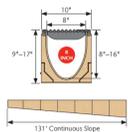


**TRASH RACK
DETAIL
-(1) REQUIRED-**

-TRASH RACK TO BE HOT DIPPED GALVANIZED AFTER FABRICATION.
-TRASH RACK TO BE WELDED AT ALL INTERSECTIONS.

PowerDrain S200K

8" Internal Width Heavy Duty System



S200K is an 8" wide system with choice of Class F (90 tons) slotted or Class E (60 tons) ADA compliant ductile iron grate featuring the PowerLok patented boltless locking system. A 4-Bolt slotted grate is also available.

- Typical Applications:**
- Heavy duty industrial areas
 - Docks & ports
 - Military bases
 - Canals/ports
 - Truck stops
 - Highways
 - Airports

POWERDRAIN S200K SELECTION CRITERIA

- Light to heavy industrial duty loads
- Product can be used towards LEED & BIA requirements
- Resistant to many everyday chemicals
- Multiple grate options to meet legal requirements
- Multiple grate options to meet design requirements
- Increase hydraulic capacity
- Constant depth and/or sloped depth channels



Features & Benefits

Ductile Iron Edge Rail
Integrally cast edge rail provides maximum strength and protection for channel body. Shock absorbing endgates with M10x30 stainless steel threads are fitted into the rail to assist grate fit and aid hanging installation.

Polymer Concrete
A durable yet lightweight material made from polymers & resin binder reinforced with mineral aggregates and fibers. It provides up to four times the compressive strength of cement concrete. See page 170 for material properties.

Interconnecting End Profiles
Allowing for efficient joining of channels. Appropriate sealant can be used to create a sealed joint.

Knockouts
Included on every 5th channel to allow vertical evacuation of the system along the run. See product pages for sizes for each system.

System Numbering
Each end of the channel indicates the number of the channel that will connect to it.

Directional Arrows
Cast on side of channel indicate flow direction and ensure clear channels are installed correctly.

S200K Grate Selection

There are three available grate styles to fit the S200K heavy duty channel body.

The conventional slotted grate with PowerLok gives an excellent, all-around heavy-duty solution with the ease of the PowerLok locking/unlocking mechanism. This is ideal for use where regular removal of the grate for maintenance is required.

The ADA compliant longitudinal grate, with PowerLok, gives the ideal solution to a heavy duty location where some pedestrian access may be required.

Although easy locking and grate removal is important for maintenance, some specific applications require a 4-Bolt solution. The four threaded M10x30 stainless steel inserts in the S200K channel body allow a 4-Bolt grate to be bolted into the channel for ultimate stiffness and security. Tamper-resistant bolts can also be used.



- ADA Compliant**
Compliant with Americans with Disabilities Act of 2010, Section 302.3 (page 176)
- Slip-Resistant Grates**
R11 (see Chapter 17)
- Hot Resistant**
ISO 11733-3: 2011 Heat-resistant slot width less than 0.31" (8 mm) (page 173)
- Recycle-Safe**
Compliant to Australian Standard AS 3996-2006 (page 174)

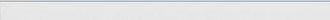
For details on how pit is determined, see pages 163-166.

S200K Grates - PowerLok®

Part No.	Length in.	Slot size in.	Inlet area sq. ft.	Weight lbs.
LONGITUDINAL IRON				
Longitudinal Iron	72263	19.69 (0.5)	1.36 x 0.45	32.4
LOAD CLASS E (EN 1433) - 202, 328 LBS - 2,321 PSI (INDUSTRIAL TRAFFIC)				
SLOTTED IRON				
Slotted Iron	02449	19.69 (0.5)	0.71 x 3.62 avg.	70.1

Note: Ductile Iron to ASTM A536 Grade 80-55-06

POWERLOK - BOLTLESS LOCKING SYSTEM



- To lock, position side of grate into key on all, place head part of bolt into PowerLok slot and push downwards.
- To open PowerLok, insert tool between rail and PowerLok device.
- Rotate tool 90°. PowerLok device should push away from rail.

2016 ROAD & BRIDGE STANDARDS

INDICATES CHANNEL WHERE WIRE MESH REINFORCEMENT IS NOT REQUIRED.

SQUARE YARDS PER LIN. FT. OF PAVED CHANNEL

CONC. THICKNESS	D	SIDE SLOPES									
		1'	2'	3'	4'	5'	6'	7'	8'	9'	10'
4"	1'	0.4251	0.536	0.6481	0.7591	0.8701	0.9811	1.0921	1.2031	1.314	1.425
	2'	0.740	0.851	0.962	1.073	1.184	1.295	1.406	1.517	1.629	1.740
	3'	1.054	1.165	1.276	1.387	1.498	1.609	1.721	1.832	1.943	2.054
	4'	1.368	1.479	1.590	1.702	1.813	1.924	2.035	2.146	2.257	2.368
	5'	1.682	1.794	1.905	2.016	2.127	2.238	2.349	2.460	2.571	2.682
	6'	1.997	2.108	2.219	2.330	2.441	2.552	2.663	2.774	2.885	2.997
	7'	2.311	2.422	2.533	2.644	2.755	2.866	2.977	3.088	3.200	3.311
	8'	2.625	2.736	2.847	2.958	3.069	3.180	3.291	3.402	3.513	3.625
	9'	2.940	3.051	3.162	3.273	3.384	3.495	3.606	3.717	3.828	3.939
	10'	3.254	3.365	3.476	3.587	3.698	3.809	3.920	4.031	4.142	4.254
6"	1'	0.552	0.623	0.734	0.845	0.956	1.067	1.178	1.290	1.401	1.512
	2'	0.914	1.023	1.135	1.246	1.357	1.468	1.579	1.690	1.801	1.912
	3'	1.313	1.424	1.535	1.646	1.757	1.868	1.979	2.090	2.202	2.313
	4'	1.714	1.825	1.936	2.047	2.158	2.269	2.380	2.491	2.602	2.714
	5'	2.114	2.225	2.336	2.448	2.559	2.670	2.781	2.892	3.003	3.114
	6'	2.515	2.626	2.737	2.848	2.959	3.070	3.181	3.292	3.403	3.515
	7'	2.915	3.027	3.138	3.249	3.360	3.471	3.582	3.693	3.804	3.915
	8'	3.316	3.427	3.538	3.649	3.760	3.871	3.982	4.093	4.204	4.315
	9'	3.717	3.828	3.939	4.050	4.161	4.272	4.383	4.494	4.605	4.717
	10'	4.117	4.228	4.340	4.451	4.562	4.673	4.784	4.895	5.006	5.117
8"	1'	0.608	0.719	0.830	0.941	1.052	1.164	1.275	1.386	1.497	1.608
	2'	1.054	1.216	1.377	1.538	1.699	1.860	1.921	2.082	2.243	2.404
	3'	1.502	1.713	1.924	2.135	2.346	2.557	2.768	2.979	3.190	3.401
	4'	1.950	2.210	2.471	2.732	2.993	3.254	3.515	3.776	4.037	4.298
	5'	2.398	2.707	2.968	3.229	3.490	3.751	4.012	4.273	4.534	4.795
	6'	2.846	3.204	3.563	3.922	4.281	4.640	4.999	5.358	5.717	6.076
	7'	3.294	3.701	4.108	4.515	4.922	5.330	5.737	6.144	6.551	6.958
	8'	3.742	4.197	4.604	5.011	5.418	5.825	6.232	6.639	7.046	7.453
	9'	4.190	4.694	5.147	5.600	6.053	6.506	6.959	7.412	7.865	8.318
	10'	4.638	5.191	5.744	6.297	6.850	7.403	7.956	8.509	9.062	9.615

SECTION A-A
SLOPES AS SHOWN ON PLANS W. W. F. REINFORCEMENT
CLASS AS CONCRETE
HALF-SECTION NON-REINFORCED. HALF-SECTION W. W. F. REINFORCEMENT

ELEVATION
CONCRETE TO BE CLASS AS
EXPANSION JOINT SPACING 90' MAXIMUM
DOWELS
CURTAIN WALL TO BE LOCATED AT THE BEGINNING AND END OF ALL CHANNELS AND ON THE LOWER END OF EACH EXPANSION JOINT.
4" X 12" DOWELS LOCATED AT ALL JOINTS

VDOT ROAD AND BRIDGE STANDARDS
SHEET 1 OF 1 REVISION DATE 10/9/04

STANDARD PAVED DITCHES
VIRGINIA DEPARTMENT OF TRANSPORTATION

SPECIFICATION REFERENCE: 502

NYLOPLAST 10" INLINE DRAIN: 2710AG __ X

GRATE OPTIONS

GRATE TYPE	LOAD RATING	PART #	DRAWING #
STANDARD	LIGHT DUTY	1096C028	7001-110-198
SOLID COVER	LIGHT DUTY	1096C029	7001-110-199
BRIDGE	N/A	1096C030	7001-110-200
DOME	N/A	1096C031	7001-110-201

1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12HANCOR DUAL WALL) & PVC SEWER.
3 - DIMENSIONS ARE FOR REFERENCE ONLY.
4 - ACTUAL DIMENSIONS MAY VARY.

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10 IN DESIGN DETAILS
DRAWN BY: CJA
DATE: 06-20-09
REVISED BY: CCA
DATE: 07-19-13
DWG SIZE: A SCALE: NTS SHEET: 1 OF 1 DWG NO.: 7003-110-001 REV: G

NYLOPLAST 24" DRAIN BASIN: 2824AG __ X

GRATE OPTIONS

GRATE TYPE	LOAD RATING	PART #	DRAWING #
PERFECTRAIN	MEETS H-10	2486C028	7001-110-218
STANDARD	MEETS H-20	2486C029	7001-110-217
SOLID COVER	MEETS H-20	2486C030	7001-110-218
DOME	N/A	2486C031	7001-110-219
DROP-IN GRATE	LIGHT DUTY	2487C01	7001-110-075

1 - GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
2 - FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.
3 - DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO AN ORDER. RISERS ARE NEEDED FOR BASINS OVER 84" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-110-065.
4 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12HANCOR DUAL WALL, N-12 HP & PVC SEWER).
5 - ADAPTERS CAN BE MOUNTED ON ANY ANGLE 0° TO 300°. TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS SEE DRAWING NO. 7001-110-012.

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24 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL
DRAWN BY: EBC
DATE: 04-03-06
REVISED BY: NMM
DATE: 03-14-16
DWG SIZE: A SCALE: 1/4" SHEET: 1 OF 1 DWG NO.: 7001-110-192 REV: E

NYLOPLAST 10" INLINE DRAIN: 2710AG __ X

GRATE OPTIONS

GRATE TYPE	LOAD RATING	PART #	DRAWING #
PERFECTRAIN	LIGHT DUTY	1096C028	7001-110-198
SOLID COVER	LIGHT DUTY	1096C029	7001-110-199
BRIDGE	N/A	1096C030	7001-110-200
DOME	N/A	1096C031	7001-110-201

1 - GRATES/SOLID COVERS SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05 WITH THE EXCEPTION OF THE BRIDGE GRATE.
2 - FOR COMPLETE DESIGN DETAILS SEE DRAWING NO. 7003-110-001.
3 - DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12HANCOR DUAL WALL) & PVC SEWER.

THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF ANY ARTICLE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION FROM NYLOPLAST.

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10 IN INLINE DRAIN QUICK SPEC INSTALLATION DETAIL
DRAWN BY: EBC
DATE: 11-15-06
REVISED BY: NMM
DATE: 03-14-16
DWG SIZE: A SCALE: 1/16" SHEET: 1 OF 1 DWG NO.: 7003-110-024 REV: F



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2117 IVY ROAD FINAL SITE PLAN
2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

SUBMITTAL RECORD

DATE	DESCRIPTION	NO.
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4

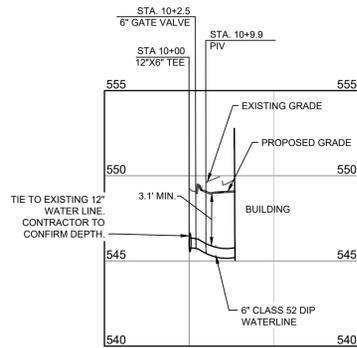


STORMWATER DETAILS

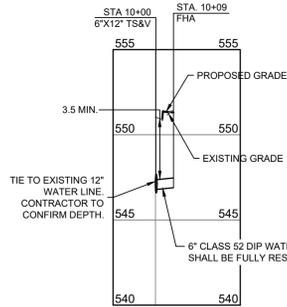
JOB NUMBER: 54985

C6.5
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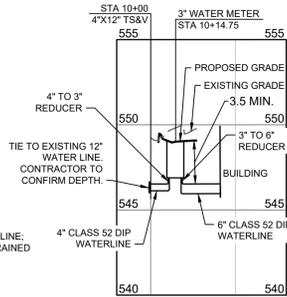
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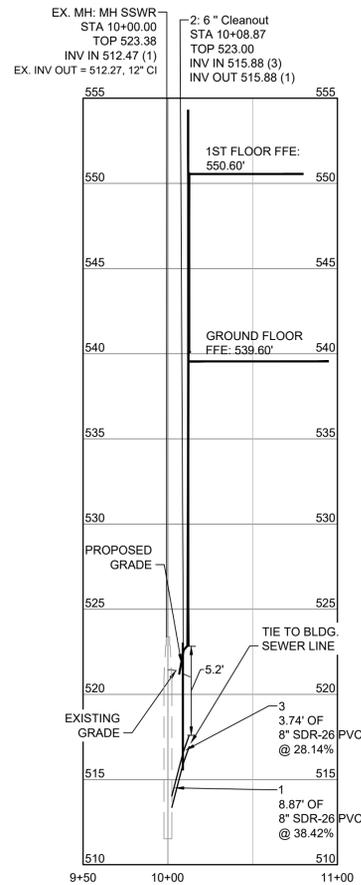
FIRELINE PROFILE
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'



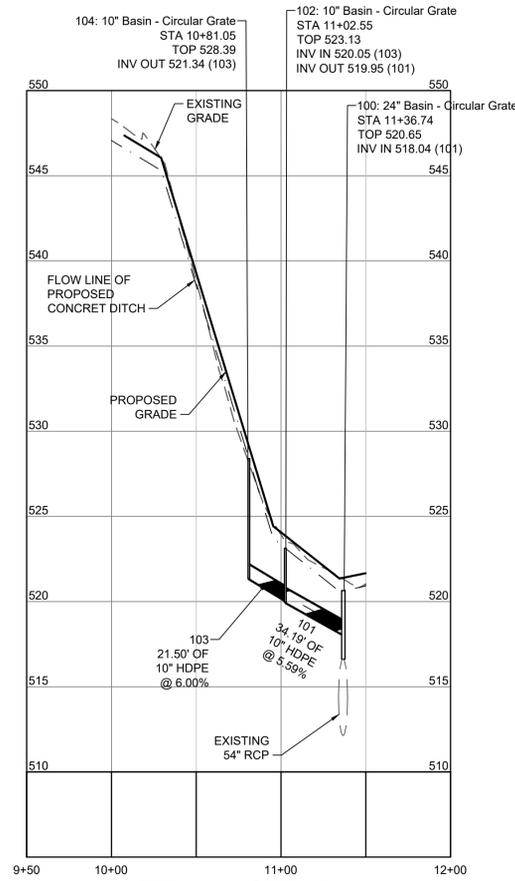
HYDRANT PROFILE
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'



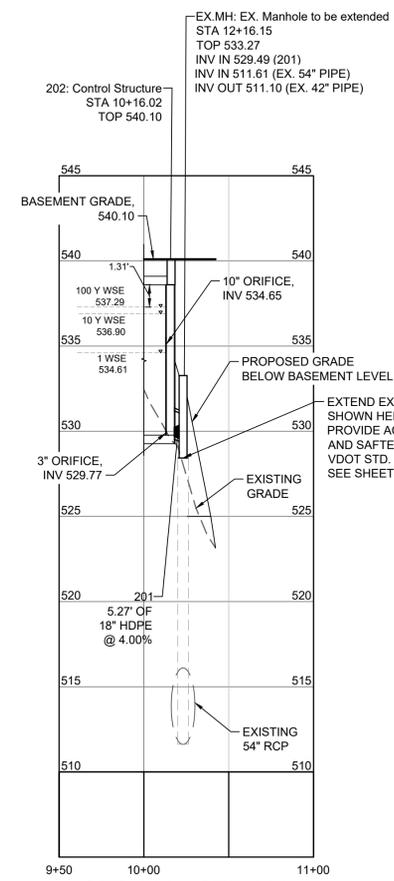
DOMESTIC LINE PROFILE
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'



EX. MH - BLDG
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'



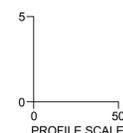
STR 100 - STR 104
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'



STR 200 - STR 202
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'

STORM PIPE TABLE							
PIPE #	DIA	FROM - TO	UPSTREAM INVERT	DOWNSTREAM INVERT	SLOPE	LENGTH	DESCRIPTION
101	10"	102 - 100	519.95	518.04	5.59%	34.19 LF	10" HDPE
103	10"	104 - 102	521.34	520.05	6.00%	21.50 LF	10" HDPE
201	18"	202 EX.MH	529.70	529.49	4.00%	5.27 LF	18" HDPE

STORM STRUCTURE TABLE			
STRUCTURE #	TOP	STRUCTURE HEIGHT	DESCRIPTION
100	520.65	4.03'	24" Basin - Circular Grate
102	523.13	3.18'	10" Basin - Circular Grate
104	528.39	7.05'	10" Basin - Circular Grate
202	540.10	1.50'	Control Structure



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2117 IVY ROAD FINAL SITE PLAN
 2117 IVY ROAD
 CHARLOTTESVILLE, VA 22903

DATE	REVISION	BY
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4



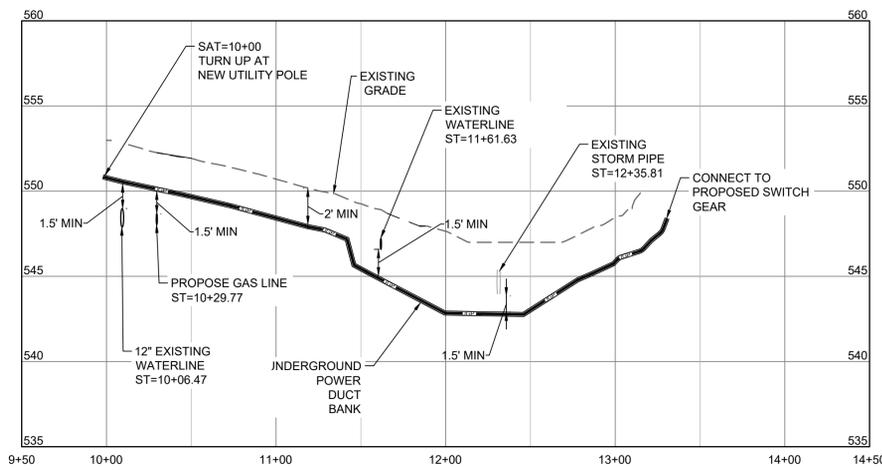
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STORMWATER & UTILITY PIPES PROFILES

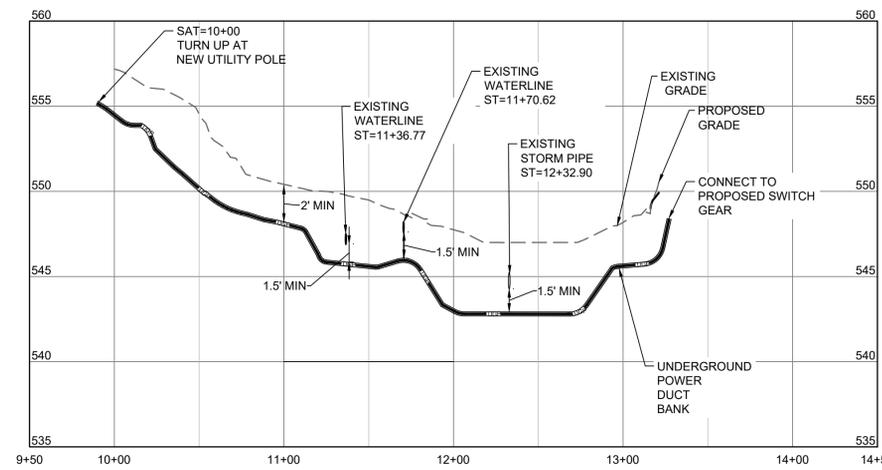
JOB NUMBER: 54985

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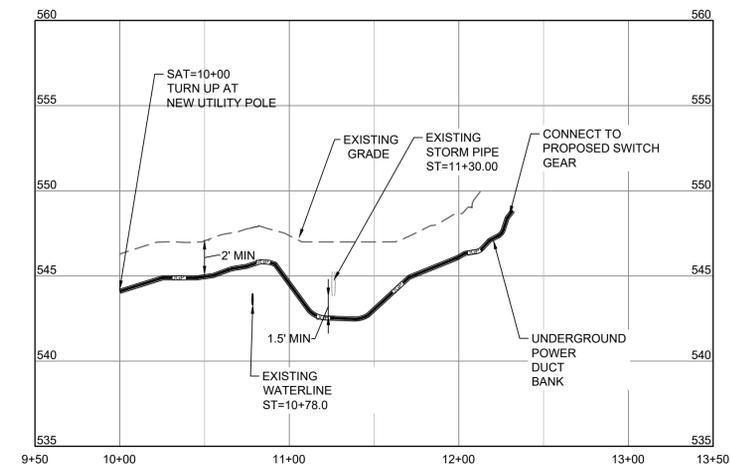
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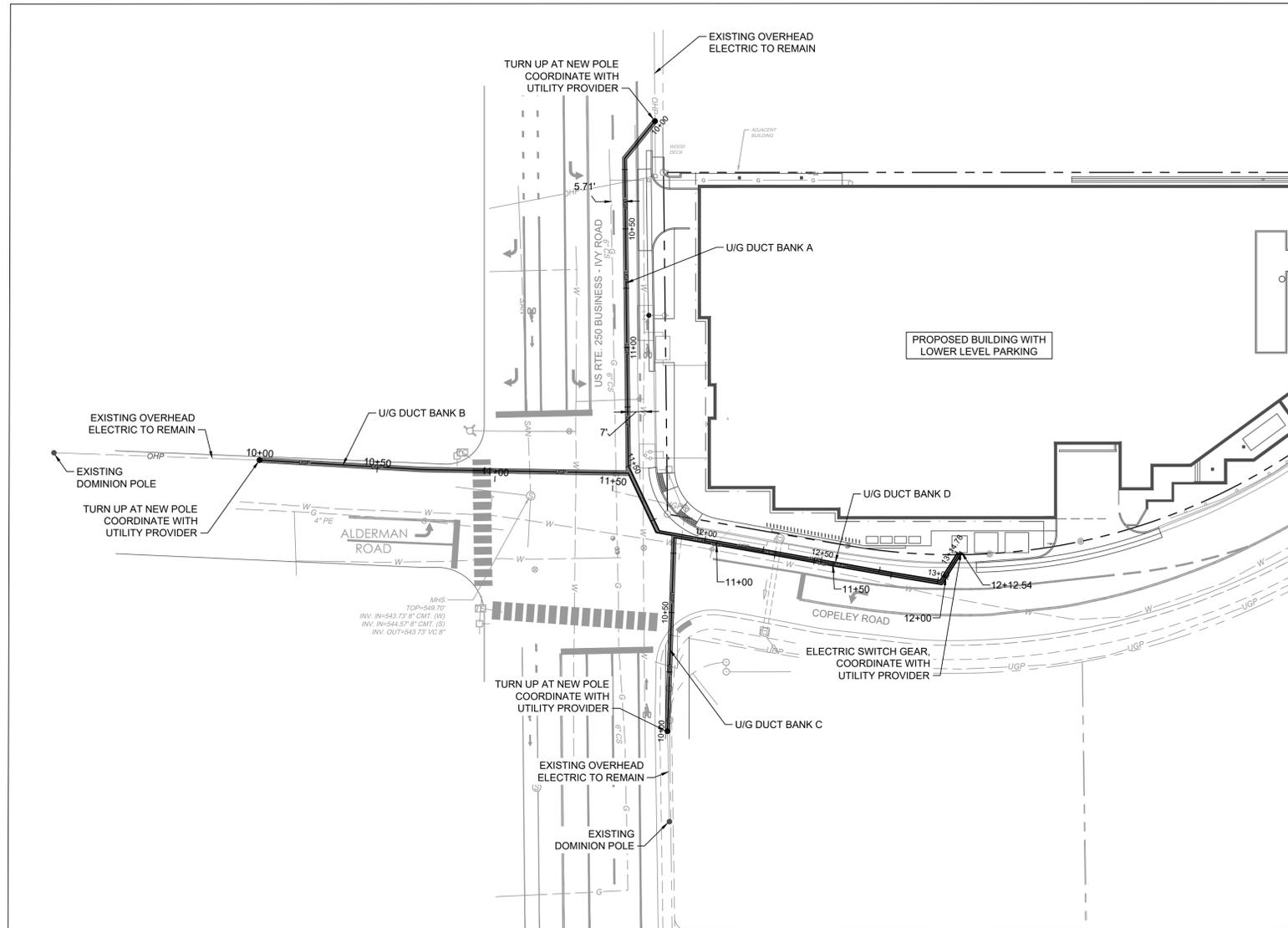
DUCT BANK A PROFILE
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'



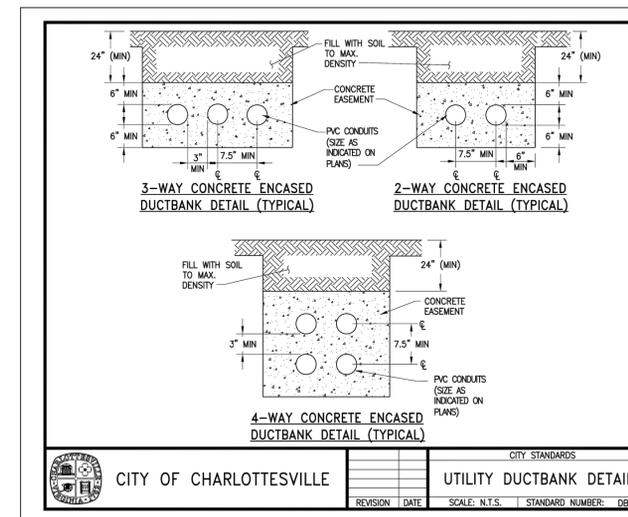
DUCT BANK B PROFILE
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'



DUCT BANK C PROFILE
 HORIZ SCALE: 1"=50'
 VERT SCALE: 1"=5'



DRY UTILITY CONDUIT PLAN



CITY OF CHARLOTTEVILLE		CITY STANDARDS	
UTILITY DUCTBANK DETAIL		STANDARD NUMBER: DB-1	
REVISION	DATE	SCALE: N.T.S.	

NOTE:

1. PROPOSED UTILITY DUCT BANK SHALL BE PLACED SUCH THAT A 5' MINIMUM HORIZONTAL SEPARATION IS PROVIDED FROM ALL PROPOSED AND EXISTING UTILITIES.
2. REFER TO SHEET C7.2 FOR CONDUIT SECTIONS.



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 CHARLOTTESVILLE, VA 22903

3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4



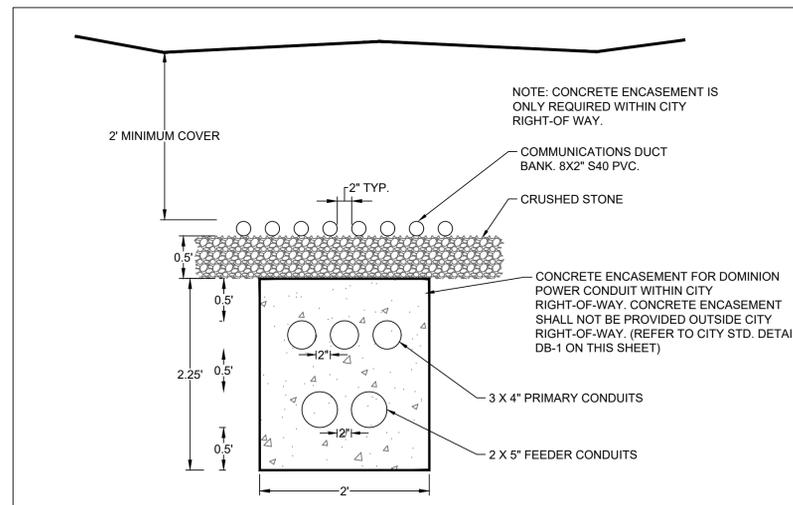
DRY UTILITY PLAN & PROFILES
 JOB NUMBER: 54985

C7.1
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3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4

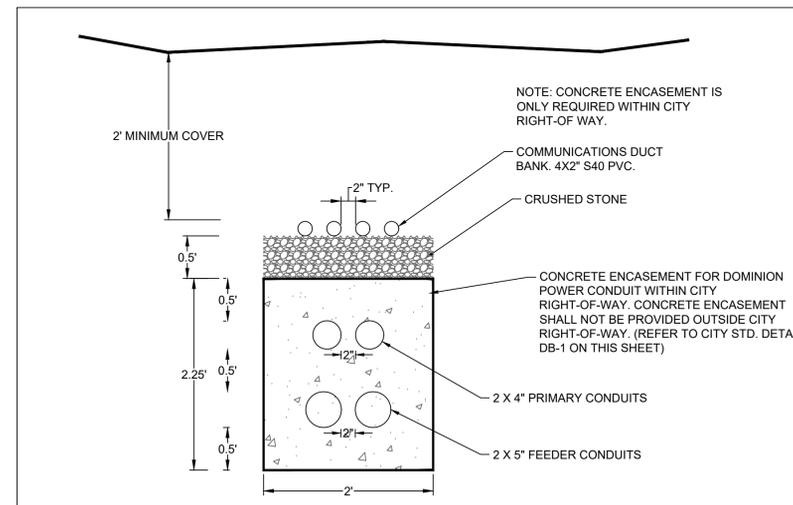


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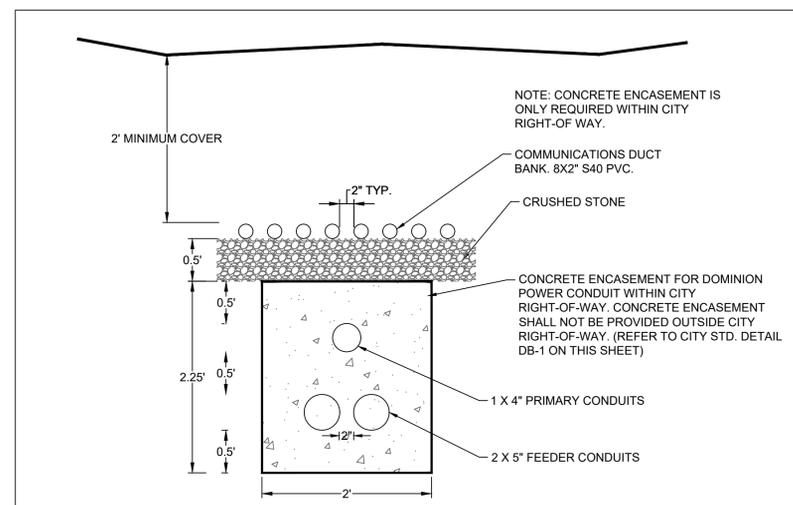
TYPICAL SHARED COMMUNICATIONS DUCT BANK A - SECTION INSIDE ROW

SCALE: 1" = 1'-0"



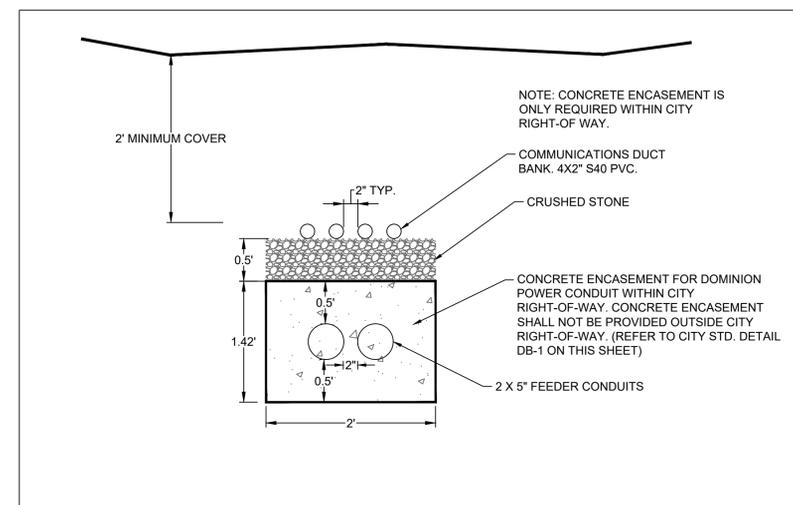
TYPICAL SHARED COMMUNICATIONS DUCT BANK B - SECTION INSIDE ROW

SCALE: 1" = 1'-0"



TYPICAL SHARED COMMUNICATIONS DUCT BANK C - SECTION INSIDE ROW

SCALE: 1" = 1'-0"



TYPICAL SHARED COMMUNICATIONS DUCT BANK D - SECTION INSIDE ROW

SCALE: 1" = 1'-0"

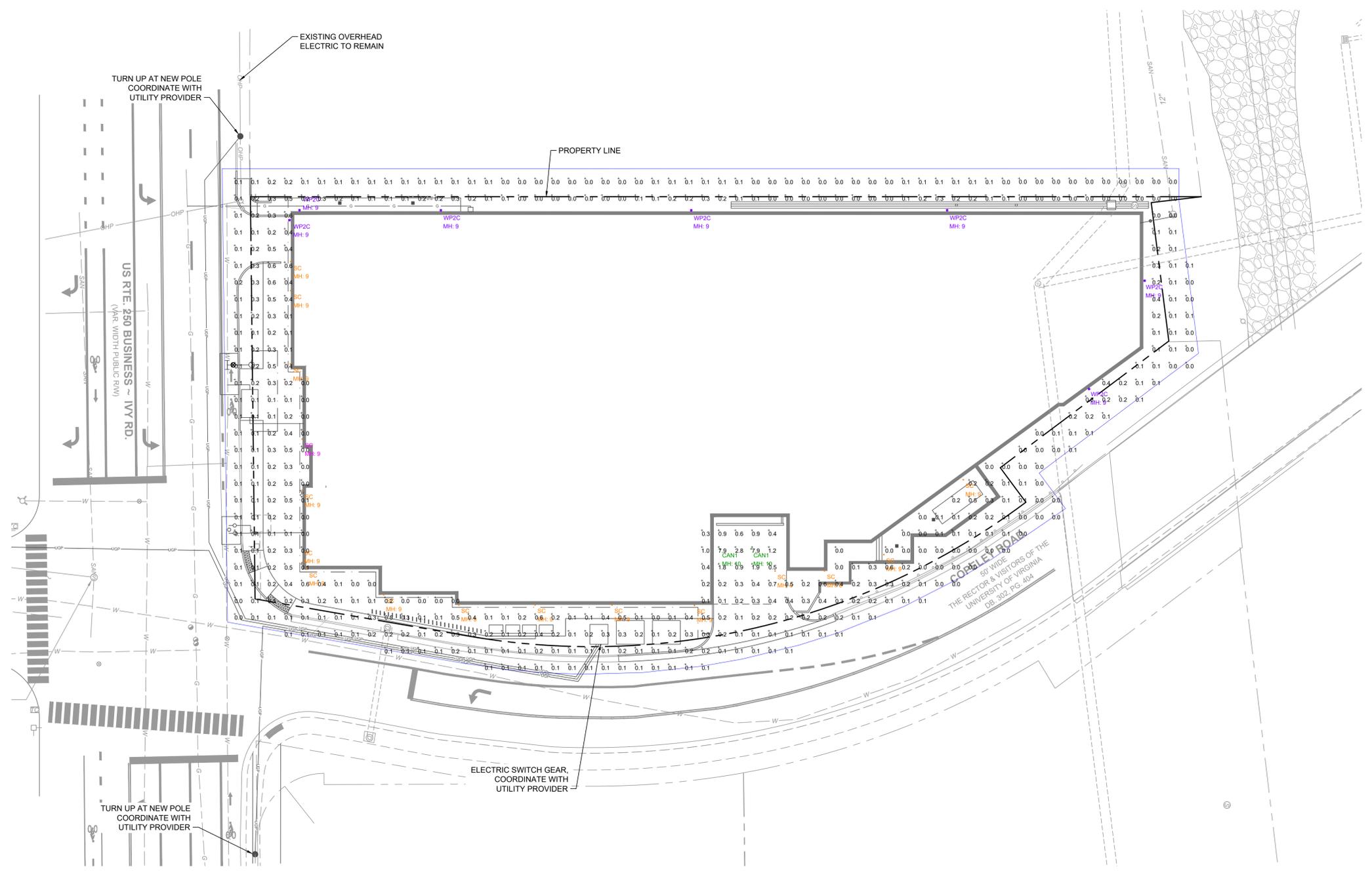
NOTE:

1. PROPOSED UTILITY DUCT BANK SHALL BE PLACED SUCH THAT A 5' MINIMUM HORIZONTAL SEPARATION IS PROVIDED FROM ALL PROPOSED AND EXISTING UTILITIES.
2. REFER TO SHEET C7.1 FOR CONDUIT LAYOUT AND ALIGNMENT.

3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4



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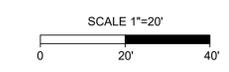
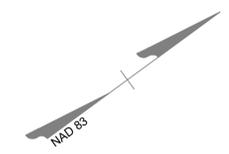
LUMINAIRE SCHEDULE

Symbol	Qty	Label	Arrangement	Lum. Watts	Lum. Lumens	LF	Description
15	15	SC	Single	25 969F	359	0.800	WS-W13348-200K
2	2	CAH1	Single	7 1399Z	505	0.900	LESC-26-180-TW-SCCT-WH-R-30
7	7	WP2C	Single	15	378	0.800	7000WASP3000ZUNV5

CALCULATION SCHEDULE

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE LIGHTING			Fc	0.20	7.9	0.0	N.A.

NOTE:
NO OUTDOOR LUMINAIRE SHALL BE MOUNTED OR PLACED AT A LOCATION THAT IS MORE THAN TWENTY (20) FEET IN HEIGHT (SEC. 34-1003(C)(2)).



Project: _____ Part #: _____
Type: _____

SnapTrim-Line: 1" Regressed Downlight
5-CCT Selectable



Detail Specification:

- Finish: White, Black, Round, Square
- IP54 Wet Location Rated
- Beam Angle: 36° standard
- Chip: COB Chip, P9 >50, CRI >90
- 3-Step MacAdam Ellipses
- Operating Temperature: -40° - 114° F
- Lens: Clear COB
- Average life (L70) of 50,000 hours

Applications:

- General Recessed Lighting
- Residential & Multifamily
- Office and Meeting Rooms
- Education, Healthcare, Retail, Hospitality

Product Information:

- 5-CCT Selectable: 27/30/35/40/50K
- Various sizes, finishes, and trims available
- Standard white round trim included; optional trims available
- Metal housing and trim for better heat dissipation
- Optional emergency backup available; delivers full lumens in EM mode
- SnapTrim Canless: Spring clips with remote j-box eliminates can

Driver Options:

- 120V Trac Dimmable
- Built in 2.5KV Surge Protector
- Flicker Free

Mounting & Installation:

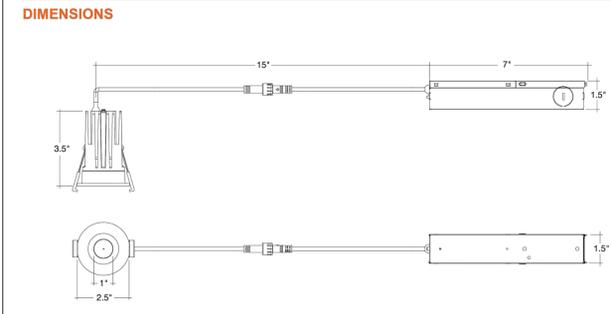
- Cut Out Dimension: 2-1/8"
- Optional new construction plate available
- This fixture does not fit into a recessed can
- No housing needed in remodel applications, tension clips mount into 1/2" to 1.5" thick ceiling
- Can be removed from below the ceiling for service or replacement
- Pre-wired junction box with circuit wiring built in (3 in/3 out)

Certifications:

- ETL Listed for USA and CA
- Energy Star Certified
- CA Title 24 JA8-2022 CEC Listed
- 5 Year Limited Warranty
- FCC CFR 47, FCC Part 15, Subpart B:2017
- IC Rated and ASTM-E263 Air-Tight
- Complies with UL 263, ASTM E119, CAN ULC S101

Series	Emergency Beam Angle	Trim Options	New Construction Plate	Extension Cables	Emergency Backup (Field Install)	Optics
LED-DLJBX-1RG-7W-5CCT-WH-R	(Blank) 36° 24D Emergency Backup	(Blank) 36° White Square Black Square Black Round	CUNV-NC-ICAT-7H Universal Plate with hanging tabs (Round fixtures only)	JBX-EXT-6-2PIN JBX-EXT-10-2PIN JBX-EXT-12-2PIN	LED-EMB-15W-HV-0/10V-2P LED-EMB-25W-HV-0/10V-2P	OPTIC-30X12-24D Field Installable 24 Degree Lens

SnapTrim-Line: 1" Regressed Downlight
3-CCT Selectable



SnapTrim-Line: 1" Regressed Downlight
3-CCT Selectable

Model	Voltage	Watts	Lumens	Color	CRI
LED-DLJBX-1RG-7W-5CCT-WH-R	120V	7w	550	27/30/35/40/50K	>90

TRIMS

Accessory	Description
DLJBX-1-TRIM-WH-R	1" White Round Smooth Trim (Included)
DLJBX-1-TRIM-BL-R	1" Black Round Smooth Trim
DLJBX-1-TRIM-WH-SQ	1" White Square Smooth Trim
DLJBX-1-TRIM-BL-SQ	1" Black Square Smooth Trim

EXTENSION CABLE

Accessory	Description
JBX-EXT-6-TRI	6' Extension Cable for fixture to J-Box
JBX-EXT-10-TRI	10' Extension Cable for fixture to J-Box
JBX-EXT-12-TRI	12' Extension Cable for fixture to J-Box

CONSTRUCTION PLATES

Accessory	Description
CUNV-NC-ICAT-7H	1" 2" 3" 3.5" 4" 5" 6" Universal Pre-Mounting New Construction Plate (Round fixtures only)
CUNV-JBX-RI-XL	Universal tough in plate Extra Long (Round fixtures only)

BATTERY BACKUP

Accessory	Description
LED-EMB-15W-HV-0/10V-2P	Up to 15W fixtures
LED-EMB-25W-HV-0/10V-2P	Up to 24W fixtures

OPTICS

Accessory	Description
OPTIC-30X12-24D	Field Installable 24 Degree Lens

TESTED COMPATIBLE DIMMERS
Other dimmers may be compatible but have not been tested. Please contact us for more information. **TRIAC/ELV Dimmers**

Lutron	Leviton	Legrand	Cooper
AYCL-153P	6633	ADTP703TU	9540
DV-600PR	6674	H703PTW	DAL06P
DVCL-153P	6602		
MACL-153MH	IPL06		
MFP2-6CL			
D-600P			
INTELV-300P			
S-600P			
CT-600P			
CTCL-153P			
TG-600P			
TCCL-153P			

NOTE:
NO OUTDOOR LUMINAIRE SHALL BE MOUNTED OR PLACED AT A LOCATION THAT IS MORE THAN TWENTY (20) FEET IN HEIGHT (SEC. 34-1003(C)(2)).



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2117 IVY ROAD FINAL SITE PLAN
2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

ASPEN 8 OUTDOOR WALL

PRODUCT FEATURES

- Powerful, long lasting (L70, 70,000 hours) dimmable LED tested against the highest quality standards to ensure it delivers consistent LED performance and color over time.
- Die-cast aluminum structure, powder coat finish, and stainless steel hardware for robust durability in harsh elements.
- Universal 120-277 volt driver with integral transient surge protection at 2.5KV per American National Standard (ANSI) and IEEE standards.
- Wet listed, IP65 (International Protection rating indicating resistance to dust and water. Suitable and safe for commercial use).
- This item is made of natural brass. It is a living finish that will patina and warm with age which adds richness. If it gets an uneven patina or spots, a brass cleaner can restore the finish.
- This item is made of natural brass. It is a living finish that will patina and warm with age which adds richness. If it gets an uneven patina or spots, a brass cleaner can restore the finish.



ORDERING INFORMATION

7000WASP	CRI	COLOR TEMP	LENGTH (A)	LENS (A)	FINISH	VOLTAGE	OPTIONS
	90 CRI	30 3000K	8"	D DIFFUSER	B BLACK H CHARCOAL NB NATURAL BRASS Z OUTDOOR BRONZE	UNV 120V-277V UNV	NONE LF IN-LINE FUSE LFSP IN-LINE FUSE, SURGE PROTECTION SP SURGE PROTECTION

7000WASP
JOB NAME
NOTES

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ASPEN 8 OUTDOOR WALL

SPECIFICATIONS

ROMAN MATERIAL	Aluminum or Brass
SHADE MATERIAL	Acrylic
NET WEIGHT	3 lbs
HEIGHT	8in
WIDTH	15in
LENGTH	5in
WET LISTED	
DAMP LISTED	
DRY LISTED	
GENERAL LISTING	ETL Listed
INCLUDES	

LAMPING SPECIFICATIONS

	LED LAMP	INTEGRATED LED	NON LED	NO LAMP
DELIVERED LUMENS		391.0		
WATTS		151		
MAX WATTAGE PER BULB		Universal 120V-277V 0-10, ELV		
CCT		3000K		
CRI		90 CRI		
LED LIFETIME		>60000		
AVERAGE BULB HOURS				
FIELD SERVICEABLE LED				
LAMP BASE		Integrated LED		
LAMP SHAPE		Integrated LED		
LAMP INCLUDED?		True		
WARRANTY**		5 Years		

T20 / T24 / JA8 INFORMATION

	Integrated LED	Replacement LED Lamp	No Lamp
This product can be used to comply with California Building Energy Efficiency Standards 2016 Title 24 Part 6, JA8.	Yes		
This product can be used to comply with California Appliance Efficiency Standards 2016 Title 20 and may be shipped to and sold in California.	N/A		

WAC LIGHTING

Revels
Outdoor Wall Sconce

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
12" WS-W15348 48"	3 3000K 3 4000K	3 BK Black	240 240	555 555	358 358

Example: WS-W15348-40-BK
For custom requests please contact custom@wacighting.com

DESCRIPTION
Balanced with geometric precision. A slim bar of light glowing between the lines of a minimal profile.

FEATURES

- Illumination on both sides with acrylic diffuser
- Built in color temperature adjustability. Switch from 3000K/3500K/4000K
- 3-CCT switch installs in the junction box
- Option to pre-select color temperature or adjust in the field
- AGLD driverless technology
- 5-year warranty

SPECIFICATIONS

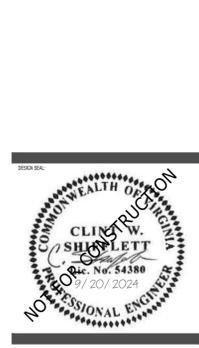
Color Temp: 4000K,3500K,3000K
Input: 120 VAC,50/60Hz
CRI: 90
Dimming: ELV 100-10%
Rated Life: 54000 Hours
Mounting: Can be mounted on wall in all orientations
Standards: ETL, eTL, IFCES
Wet Location Listed
Construction: Extruded aluminum body with PC diffuser

FINISHES:
3 BK Black

LINE DRAWING:

REVISIONS

DATE	DESCRIPTION	BY
3/13/2024	CITY SUBMISSION	1
5/29/2024	CITY COMMENTS	2
8/23/2024	CITY COMMENTS	3
9/20/2024	CITY COMMENTS	4



PHOTOMETRIC DETAILS

JOB NUMBER: 54985

E102
NOT FOR CONSTRUCTION

**AN ORDINANCE
APPROVING A REQUEST TO REZONE LAND FRONTING ON IVY ROAD
AND COPELEY ROAD
FROM URBAN CORRIDOR (URB) TO PLANNED UNIT DEVELOPMENT (PUD)**

WHEREAS, RMD Properties, LLC is the owner (“Landowner”) of certain land fronting on Ivy Road and Copeley Road, designated on the City Tax Map and Parcel (TMP) as 070001200 (the “Subject Property”), and the Landowner is seeking to change the zoning classifications of the Subject Property from URB to PUD subject to proffered development conditions, hereinafter referred to as the “Proposed Rezoning”; and

WHEREAS, in connection with the Proposed Rezoning, the Applicants submitted: (i) a written PUD Development Plan, dated May 15, 2023 (Revision #3 dated November 21, 2023), titled “2117 Ivy Road Planned Unit Development Plan Submittal”, and (ii) proffered development conditions and “Exhibit A” diagram submitted in writing to the City; and

WHEREAS, a public hearing on the Proposed Rezoning was conducted by the Planning Commission on January 9, 2024 and by City Council on January 16, 2024, following notice to the public and to adjacent property owners as required by Virginia Code §15.2-2204 and City Code §34-44, and following their January 9, 2024 public hearing, the Planning Commission voted to recommend that City Council should approve the Proposed Rezoning; and

WHEREAS, this City Council has considered the matters addressed within the Landowner’s application (ZM23-00003), the NDS Staff Report, public comments, the Planning Commission’s recommendation, and the Comprehensive Plan; and

WHEREAS, this Council finds and determines that the public necessity, convenience, general welfare and good zoning practice require the Proposed Rezoning; that both the existing zoning classification and the proposed zoning classification are reasonable; and that the Proposed Rezoning is consistent with the Comprehensive Plan; now, therefore,

BE IT ORDAINED by the Council of the City of Charlottesville, Virginia that the Zoning District Map Incorporated in Section 34-1 of the Zoning Ordinance of the Code of the City of Charlottesville, 1990, as amended, be and hereby is amended and reenacted as follows:

Section 34-1. Zoning District Map. Rezoning the property designated on City Tax Map and Parcel (TMP) 070001200 (“Subject Property”), containing, in the aggregate approximately 1.027 acres (approximately 44,736 square feet), from Urban Corridor (URB) to Planned Unit Development (PUD), subject to the following proffered development conditions (“Proffers”), which were tendered by the Landowners in accordance with law and are hereby accepted by this City Council:

Approved Proffers

1. Affordable Housing

The Project is proposed to be student housing rented by the bedroom. The Applicant shall make a cash contribution to the City's affordable housing fund in the amount equal to Three Million, Two Hundred Fifty Thousand Dollars (\$3,250,000), provided that the approved final site plan and approved building permit will permit a minimum of Six Hundred Thirty-Four (634) bedrooms. Otherwise, the amount will be equal to four and one-half (4 ½) times that which would be required under City Code Section 34-12(d)(2) in effect as of the date of this Proffer Statement, based on the approved final site plan. Such cash contribution shall be delivered to the City prior to the issuance of the first Certificate of Occupancy for the Project.

2. PUD Application Plan

- A. **Application Plan.** The Property is depicted on the plans entitled "2117 Ivy Road" dated May 15, 2023, last revised November 21, 2023, prepared by WDG Architecture and Timmons Group (the "Application Plan"). The Property will be developed in general accord with the essential elements of the Application Plan, as required by City Zoning Ordinance Section 34-518.
- B. **Exhibit A.** Notwithstanding the provisions of paragraph 2A above, the Property frontage along Ivy Road shall be developed to reflect the following major elements as shown and noted on attached plans entitled "PUD Exhibit A – Conceptual Building Section" dated December 12, 2023, prepared by Dwell Design Studio ("Exhibit A"), attached, subject to Entrance Corridor Review Board Approval:
- 1) The green zone shall be a minimum of 8 feet in width.
 - 2) The sidewalk shall be a minimum of 10 feet in width.
 - 3) Floors 1-2 shall be recessed at least 2 feet from Ivy Road beyond that shown on the Application Plan.
 - 4) Floors 3-8 shall be recessed 4 feet from Ivy Road beyond that shown on the Application Plan.
 - 5) Floors 9-10 shall be recessed 2 feet beyond floors 3-8.
 - 6) The rooftop architectural trellis shall be recessed 10 feet from the top edge of floor 10.
 - 7) Street tree species will be coordinated with City staff, the Entrance Corridor Review Board, and the University.

With regard to any differences between the approved Application Plan and this proffer statement with Exhibit A, this proffer statement and Exhibit A shall govern.

- C. The Applicant shall submit a revised Application Plan incorporating the provisions of paragraph 2B within 30 days after City Council's action on the Application.

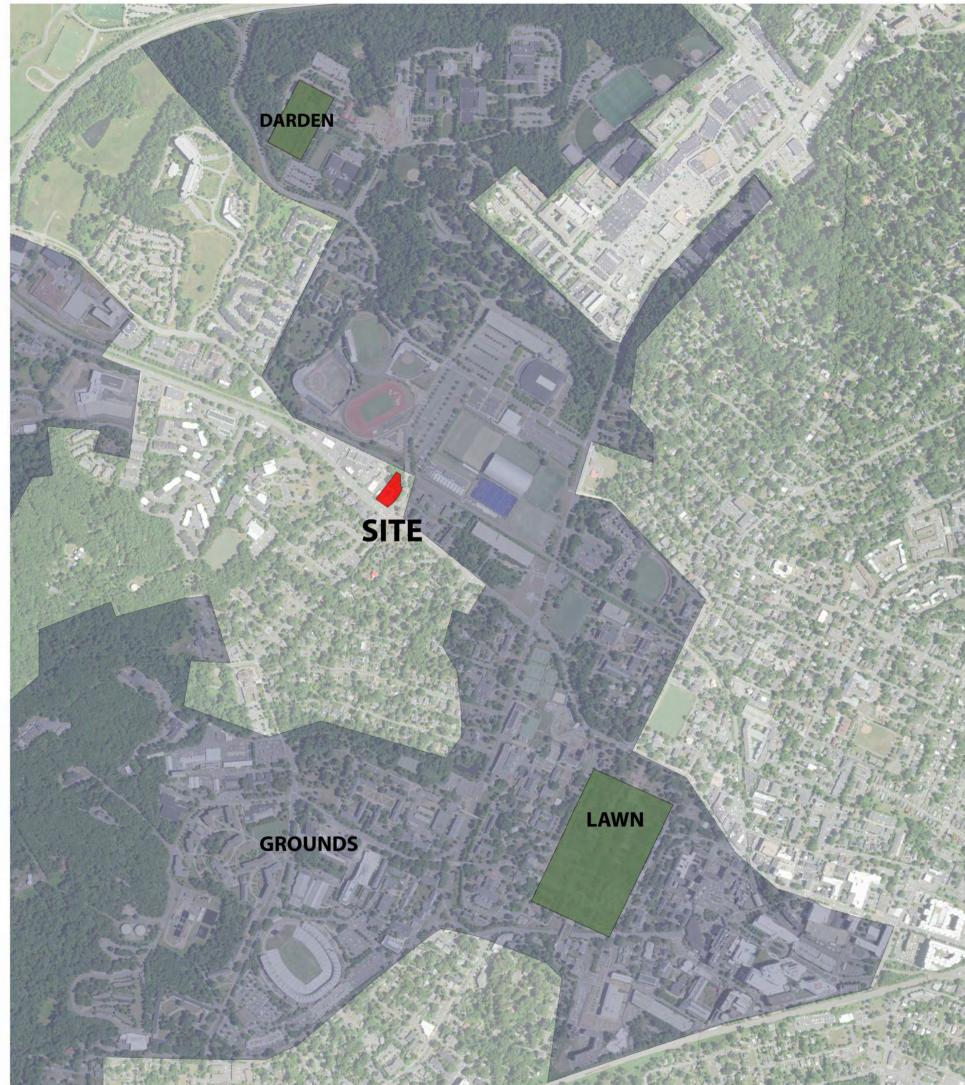
BE IT FURTHER ORDAINED THAT the City's Zoning Administrator shall update the Zoning District Map to reflect this rezoning of the Subject Property subject to the proffered development conditions.

2117 IVY ROAD

CHARLOTTESVILLE, VA 22903

PLANNED UNIT DEVELOPMENT PLAN SUBMITTAL: MAY 15, 2023
 REVISION #1: AUGUST 02, 2023 / REVISION #2: OCTOBER 6, 2023 / REVISION #3: NOVEMBER 21, 2023
 REVISION #4: DECEMBER 18, 2023 / REVISION #5: FEBRUARY 22, 2024 (FOR RECORD)

SITE VICINITY MAP



NOTE: ALL DRAWINGS ARE PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURAL, CIVIL, AND SITE DESIGN. PROPERTY IS LOCATED WITHIN A CITY DESIGNATED ENTRANCE CORRIDOR, AND FINAL DESIGN WILL BE SUBJECT TO REVIEW AND APPROVAL BY THE ENTRANCE CORRIDOR REVIEW BOARD.

ISSUE	DESCRIPTION	DATE
PUD SUBMISSION		05/15/23
PUD RESPONSE #1		08/02/23
PUD RESPONSE #2		10/06/23
PUD RESPONSE #3		11/21/23
PUD RESPONSE #4		12/15/23
PUD RESPONSE #5		02/22/24

REVISION	DESCRIPTION	REV

NOT FOR CONSTRUCTION

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DATE: 02/22/24

PUD RESPONSE #5

JOB NUMBER: 2347106

A-001

DRAWING INDEX - CIVIL	
SHEET NUMBER	SHEET NAME
C-001	ALTA NSPS LAND TITLE SURVEY
C-002	EXISTING CONDITIONS PLAN
C-003	LAYOUT & UTILITIES PLAN
C-003.1	AERIAL ROAD & BIKE LANE STRIPING EXHIBIT
C-004	GRADING AND DRAINAGE PLAN
C-005	LANDSCAPE PLAN

DRAWING INDEX - ARCHITECTURE	
SHEET NUMBER	SHEET NAME
A-001	COVER
A-002	ZONING INFORMATION
A-003	ARCHITECTURAL SITE PLAN AND BUILDING INFORMATION
A-004	CONCEPTUAL OUTDOOR AMENITY SPACE DIAGRAM
A-005A	CONCEPTUAL FLOOR PLANS - B1 & L1
A-005B	CONCEPTUAL FLOOR PLANS - L2 & L3-8
A-005C	CONCEPTUAL FLOOR PLANS - L9-10
A-006	CONCEPTUAL ELEVATIONS
A-007	CONCEPTUAL ELEVATIONS
A-008	INTERIOR COURTYARD VIEWS
A-009	CONCEPTUAL BUILDING SECTIONS
A-010	CONCEPTUAL BUILDING SECTIONS
A-011	CONCEPTUAL PERSPECTIVE IMAGE

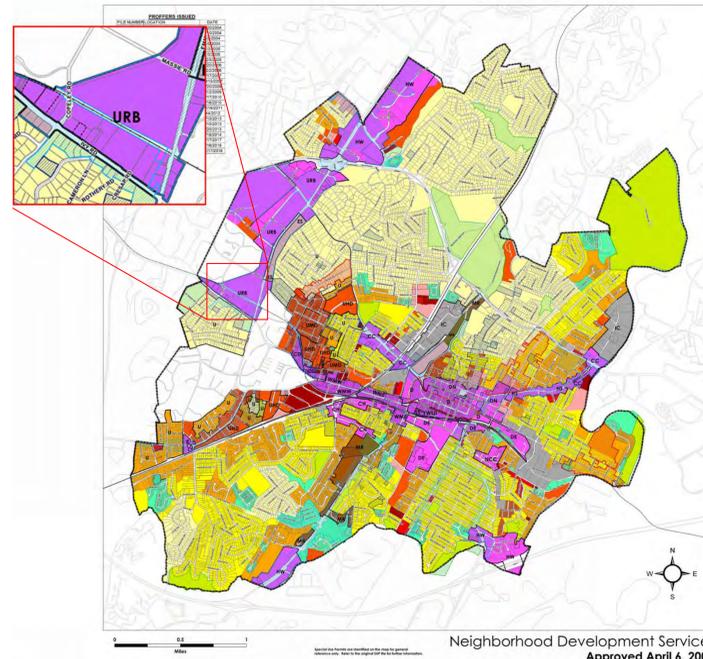
IMPLEMENTATION OF PLANNED UNIT DEVELOPMENT REGULATIONS:
 THIS PUD SHALL BE REGULATED CONSISTENT WITH SECTION 34-518 AND 34-519 OF THE CITY ZONING ORDINANCE IN EFFECT AS OF OCTOBER 2023.

CURRENT URB ZONING

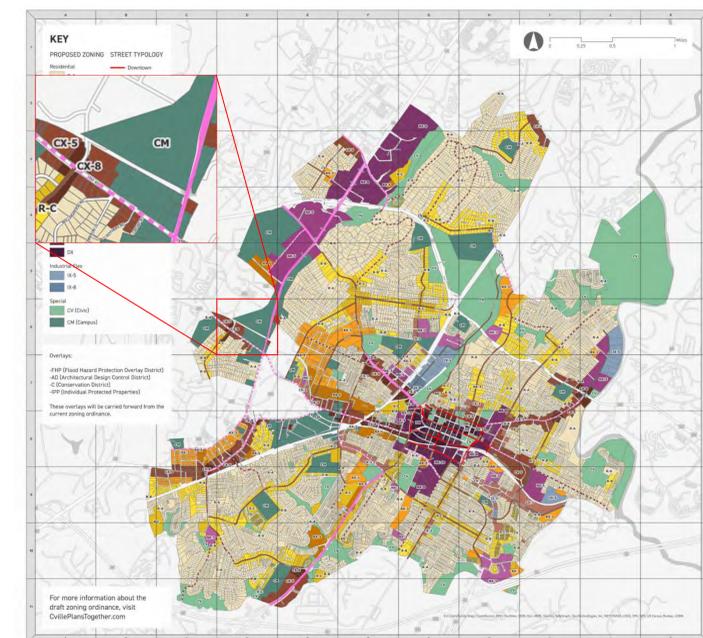
Use Types under Existing Zoning Ordinance			
Proposed PUD	Existing Zoning: URB (for Reference)	Notes	
RESIDENTIAL AND RELATED USES			
Accessory apartment, internal			
Accessory apartment, external			
Accessory buildings, structures and uses (residential)	B	B	
Adult assisted living			
1-8 residents			
Greater than 8 residents			
Adult day care			
Amateur radio antennas, to a height of 75 ft.			
Bed-and-breakfasts:			
Homestay	B	B	
B & B	B	B	
Inn	B	B	
Boarding: fraternity and sorority house			
Boarding house (rooming house)			
Convent/monastery		B	
Criminal justice facility			
Dwellings:			
Multifamily	B	B	
Single-family attached			
Single-family detached			
Townhouse			
Two-family			
Family day home			
1-5 children			
6-12 children			
Home occupation	B	P	
Manufactured home parks			
Night watchman's dwelling unit, accessory to industrial use			
Nursing homes			
Occupancy, residential			
3 unrelated persons	B	B	Permitted by-right under draft ZO
4 unrelated persons	B	B	
Residential treatment facility			
1-8 residents	B	B	
8+ residents	B	S	Permitted by-right under draft ZO
Shelter care facility			
Single room occupancy facility	B	S	Permitted by-right under draft ZO
Temporary family health care structure	B	S	Permitted by-right under draft ZO
NON-RESIDENTIAL: GENERAL AND MISC.			
COMMERCIAL			
Access to adjacent multifamily, commercial, industrial or mixed-use development or use	B	B	
Accessory buildings, structures and uses	B	B	
Amusement center	B	P	Permitted by-right under draft ZO as General Indoor entertainment and recreation
Amusement enterprises (circuses, carnivals, etc.)			
Amusement park (putt-putt golf, skateboard parks, etc.)			
Animal boarding/grooming/kennels:	B	B	Permitted by-right under draft ZO as Personal Service
With outside runs or pens	B	B	Permitted by-right under draft ZO as Personal Service
Without outside runs or pens			
Animal shelter			
Art gallery:			
GFA 4,000 SF or less	B	B	
GFA up to 10,000 SF	B	S	Permitted by-right under draft ZO as General retail
Art studio, GFA 4,000 SF or less	B	B	
Art workshop	B	B	
Assembly (indoor)			
Arena, stadium (enclosed)			
Auditoriums, theaters			
Maximum capacity less than 300 persons	B	B	
Maximum capacity greater than or equal to 300 persons	B	B	Permitted under draft ZO as General Indoor entertainment and recreation
Houses of worship	B	B	Permitted under draft ZO as General Indoor entertainment and recreation
Assembly (outdoor)			
Amphitheater		S	
Arena, stadium (open)			
Temporary (outdoor church services, etc.)	B	T	Permitted under draft ZO as Temporary Outdoor Assemblies
Assembly plant, handcraft			
Assembly plant			
Automobile uses:			
Auto parts and equipment sales	S	S	
Gas station	S	S	
Rental/leasing (such as Zipcar or similar car share only)	B	S	
Repair/servicing business	S	S	
Sales:			
Tire sales and recapping	B	B	
Bakery, wholesale	B	B	
GFA 4,000 SF or less	B	B	
GFA up to 10,000 SF	B	B	Permitted by-right under draft ZO
Banks/financial institutions	B	B	
Bowling alleys			
Car wash	B	S	
Catering business	B	B	
Cemetery			
Clinics:			
Health clinic (no GFA limit)	B	B	Permitted by-right under draft ZO
Health clinic (up to 10,000 SF, GFA)	B	B	
Health clinic (up to 4,000 SF, GFA)	B	B	
Public health clinic	B	B	
Veterinary (with outside pens/runs)			
Veterinary (without outside pens/runs)	B	B	
Clubs, private			
Communications facilities:			
Attached facilities utilizing utility poles as the attachment structure	B	B	
Attached facilities not visible from any adjacent street or property	B	B	
Attached facilities visible from an adjacent street or property (if painted to match attachment structure)	B	B	
Carrier on wheels (COW)	T	T	
Towers			
Monopole tower			
Guyed tower			
Lattice tower			
Self-supporting tower			
Contractor or tradesman's shop, general			
Crematorium (independent of funeral home)			
Data center <4,000	B	B	
>4,000	B	B	
Daycare facility	B	B	
Dry cleaning establishments	B	B	
Educational facilities (non-residential):			
Elementary	B	B	
High schools	B	B	
Colleges and universities	B	B	Permitted by-right under draft ZO as Education
Artistic instruction, up to 4,000 SF, GFA	B	B	
Artistic instruction, up to 10,000 SF, GFA	B	B	Permitted by-right under draft ZO as Education
Vocational, up to 4,000 SF, GFA	B	B	
Vocational, up to 10,000 SF, GFA	B	B	Permitted by-right under draft ZO as Education

Use Types under Existing Zoning Ordinance			
Proposed PUD	Existing Zoning: URB (for Reference)	Notes	
Electronic gaming cafe			
Funeral home (without crematory)			
GFA 4,000 SF or less			
GFA up to 10,000 SF	B	S	
Funeral homes (with crematory)			
GFA 4,000 SF or less			
GFA up to 10,000 SF	B	S	
Golf course			
Golf driving range			
Helipad			
Hospital			
Hotels/motels:			
Up to 100 guest rooms	B	B	
100+ guest rooms	B	B	
Laundromats	B	B	Permitted by-right under draft ZO as Personal Service
Libraries	B	B	
Manufactured home sales	B	B	
Micro-producers	B	B	
Small Breweries	B	S	Permitted by-right under draft ZO
Mobile food units	B	P	Permitted by-right under draft ZO as General Indoor entertainment and recreation
Movie theaters, cineplexes	B	S	
Municipal/governmental offices, buildings, courts	B	B	
Museums:			
Up to 4,000 SF, GFA	B	B	
Up to 10,000 SF, GFA	B	B	
Music hall	B	B	
Offices:			
Business and professional	B	B	
Medical	B	B	
Philanthropic institutions/agencies	B	B	
Property management (ancillary to MFD)	B	A	
Other offices (non-specified)	B	B	
Outdoor storage, accessory	B	S	
Parking:			
Parking garage	B	A/S	Permitted under draft ZO
Surface parking lot (19 or less spaces)	B	B	Permitted under draft ZO
Surface parking lot (more than 20 spaces)	B	A	Permitted under draft ZO as Temporary Surface Parking Lot
Temporary parking facilities	T	T	
Photography studio	B	B	
Photographic processing, blueprinting	B	B	
Radio/television broadcast stations	B	B	
Recreational facilities:			
Indoor: health/sports clubs; tennis club; swimming club; yoga studios; dance studios, skating rinks, recreation centers, etc. (on City-owned, City School Board-owned, or other public property)	B	B	
Indoor: health/sports clubs; tennis club; swimming club; yoga studios; dance studios, skating rinks, recreation centers, etc. (on private property)	B	B	
GFA 4,000 SF or less	B	B	
GFA 4,001-10,000 SF	B	B	
GFA more than 10,000 SF	B	S	Permitted by-right under draft ZO
Outdoor: Parks, playgrounds, ball fields and ball courts, swimming pools, picnic shelters, etc. (city-owned), and related concession stands	B	B	
Outdoor: Parks, playgrounds, ball fields and ball courts, swimming pools, picnic shelters, etc. (private)		S	
Restaurants:			
All night	B	S	Permitted by-right under draft ZO as General food and beverage
Drive-through windows	B	S	
Fast food	B	B	Permitted by-right under draft ZO as General food and beverage
Full service	B	B	Permitted by-right under draft ZO as General food and beverage
24-hour	B	B	Permitted by-right under draft ZO as General food and beverage
Towing service, automobile			
Technology-based businesses	B	B	
Taxi stand	B	B	
Transit facility	B	B	
Utility facilities	B	S	
Utility lines	B	B	
NON-RESIDENTIAL USES: RETAIL			
Accessory buildings, structures and uses			
Consumer service businesses:			
Up to 4,000 SF, GFA	B	B	
Up to 10,000 SF, GFA	B	B	
10,001+ GFA	B	B	
Farmer's market	B	S	Permitted by-right under draft ZO
Greenhouses/nurseries	B	S	
Grocery stores:			
Convenience	B	B	
General, up to 10,000 SF, GFA	B	B	
General, more than 10,000 SF, GFA	B	B	
Home improvement center			Permitted by-right under draft ZO as General retail
Pharmacies:			
1-1,700 SF, GFA	B	B	
1,701-4,000 SF, GFA	B	B	
4,001+ SF, GFA	B	B	Permitted by-right under draft ZO as General retail
Shopping centers	B	S	
Shopping malls	B	S	Permitted by-right under draft ZO as General retail
Temporary sales, outdoor (flea markets, craft fairs, promotional sales, etc.)	T	T	
Other retail stores (non-specified):			
Up to 4,000 SF, GFA	B	B	
4,001 SF to 20,000 SF, GFA	B	B	
More than 20,000 SF, GFA	B	B	
NON-RESIDENTIAL: INDUSTRIAL			
Accessory buildings, structures and uses			
Assembly, industrial			
Beverage or food processing, packaging and bottling plants			
Brewery and bottling facility			
Compounding of cosmetics, toiletries, drugs and pharmaceutical products			
Construction storage yard			
Temporary construction yard	T	T	
Contractor or tradesman shop (HAZMAT)			
Frozen food lockers			
Greenhouse/nursery (wholesale)			
Industrial equipment: service and repair			
Janitorial service company			
kennels			
Laboratory, medical >4,000 sq. ft.	B	B	
<4,000 sq. ft.	B	B	
Laboratory, pharmaceutical >4,000 sq. ft.	B	B	
<4,000 sq. ft.	B	B	
Landscape service company			
Laundries			
Manufactured home sales			
Manufacturing, light			
Moving companies			
Printing/publishing facility		S	
Open storage yard			
Outdoor storage, accessory to industrial use			
Research and testing laboratories	B	B	
Self-storage companies			
Warehouses			
Welding or machine shop			
Wholesale establishments			

CURRENT ZONING MAP



NEW DRAFT ZONING MAP



PROPOSED CX-8 ZONING

Use Types under Draft Zoning Code			
Proposed PUD	Draft Zoning Code: CX-8		
RESIDENTIAL USES			
Household Living			
General household living	P	P	
Manufactured home park	-	-	
Group Living			
General group living (up to 8 residents)	P	P	
General group living (8+ residents)	P	P	
Adult assisted living (up to 8 residents)	P	P	
Adult assisted living (8+ residents)	P	P	
Residential treatment facility (up to 8 residents)	P	P	
Residential treatment facility (8+ residents)	P	P	
PUBLIC AND INSTITUTIONAL USES			
Civic			
General Civic	P	P	
Religious assembly	P	P	
Shelter	P	P	
Criminal justice facility	-	-	
Day Care			
Day care center (1 to 12 persons)	P	P	
Day care center (12+ persons)	P	P	
Education			
General Education	P	P	
College, university or vocational school	P	P	
Parks & Open Space			
General parks and open space	P	P	
Cemetery	-	-	
Utilities			
Utility, major	S	S	
Utility, minor	P	P	
Communication facility, attached (utility pole or not visible)	P*	P*	
Communication facility, attached (visible- painted to match attachment structure)	P*	-	
Communication facility, tower	-	-	
COMMERCIAL USES			
Entertainment & Recreation			
General indoor entertainment and recreation (up to 4,000 SF)	P	P	
General indoor entertainment and recreation (4,000+ SF)	P	P	
General outdoor entertainment and recreation	S	S	
Club, private	P	P	
Electronic gaming cafe	-	-	
Golf course	-	-	
Golf driving range	-	-	
Food & Beverage			
General food and beverage (up to 4,000 SF)	P	P	
General food and beverage (4,000+ SF)	P	P	
Micro-producer	P	P	
Small brewery	P	P	
Lodging			
General lodging (up to 10 guest rooms)	P	P	
General lodging (10+ guest rooms)	P	P	
Medical			
General medical (up to 4,000 SF)	P	P	
General medical (4,000+ SF)	P	P	
Hospital	S	S	
Medical laboratory (up to 4,000 SF)	P	P	
Medical laboratory (4,000+ SF)	P	-	
Office			
General Office (up to 4,000 SF)	P	P	
General Office (4,000+ SF)	P	P	
Parking			
Commercial surface parking	P*	P*	
Commercial structured parking	P*	P*	
Remote parking	P*	P*	
Personal Service			
General personal service (up to 4,000 SF)	P	P	
General personal service (4,000+ SF)	P	P	
Animal Care, outdoor	P	P	
Gym or studio	P	P	
Retail			
General retail (up to 4,000 SF)	P	P	
General retail (4,000+ SF)	P	P	
Artisan workshop	P	P	
Farmer's market	P	P	
Greenhouse or nursery	-	-	
Transportation			
Passenger terminal	P	P	
Helipad	-	-	
Vehicle Sale & Service			
Vehicle repair or service (up to 1 acre)	-	-	
Vehicle repair or service (1+ acres)	-	-	
Vehicle sale or rental (such as Zipcar or similar car share only)	P	-	
Fueling station	-	-	
INDUSTRIAL USES			
Industrial & Manufacturing			
Bakery, wholesale (up to 4000 SF)	P	P	
Bakery, wholesale (4000+ SF)	P	-	
Low-impact industrial and manufacturing (up to 4000 SF)	P	-	
High-impact industrial and manufacturing (4000+ SF)	-	-	
Research and development	P	-	
Warehouse & Distribution			
General warehouse and distribution (up to 25,000 SF)	-	-	
General warehouse and distribution (25,000+ SF)	-	-	
Data center	P*	P*	
Distribution storage yard	-	-	
Recycling drop-off center	-	-	
Self-service storage	-	-	
Vehicle storage yard	-	-	
ACCESSORY USES			
Alcohol sales for on-premise consumption	P	P	
Drive-through	-	-	
Family day home	P*	P*	
Home occupation	P*	P*	

ISSUE	DESCRIPTION	DATE
PUD SUBMISSION		05/15/23
PUD RESPONSE		08/02/23
PUD RESPONSE #1		10/06/23
PUD RESPONSE #2		11/21/23
PUD RESPONSE #3		12/15/23
PUD RESPONSE #4		02/22/24
PUD RESPONSE #5		

REVISION	DESCRIPTION	REV

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ARCHITECTURAL SITE PLAN AND BUILDING INFORMATION

PUD RESPONSE #5

JOB NUMBER: 2347106

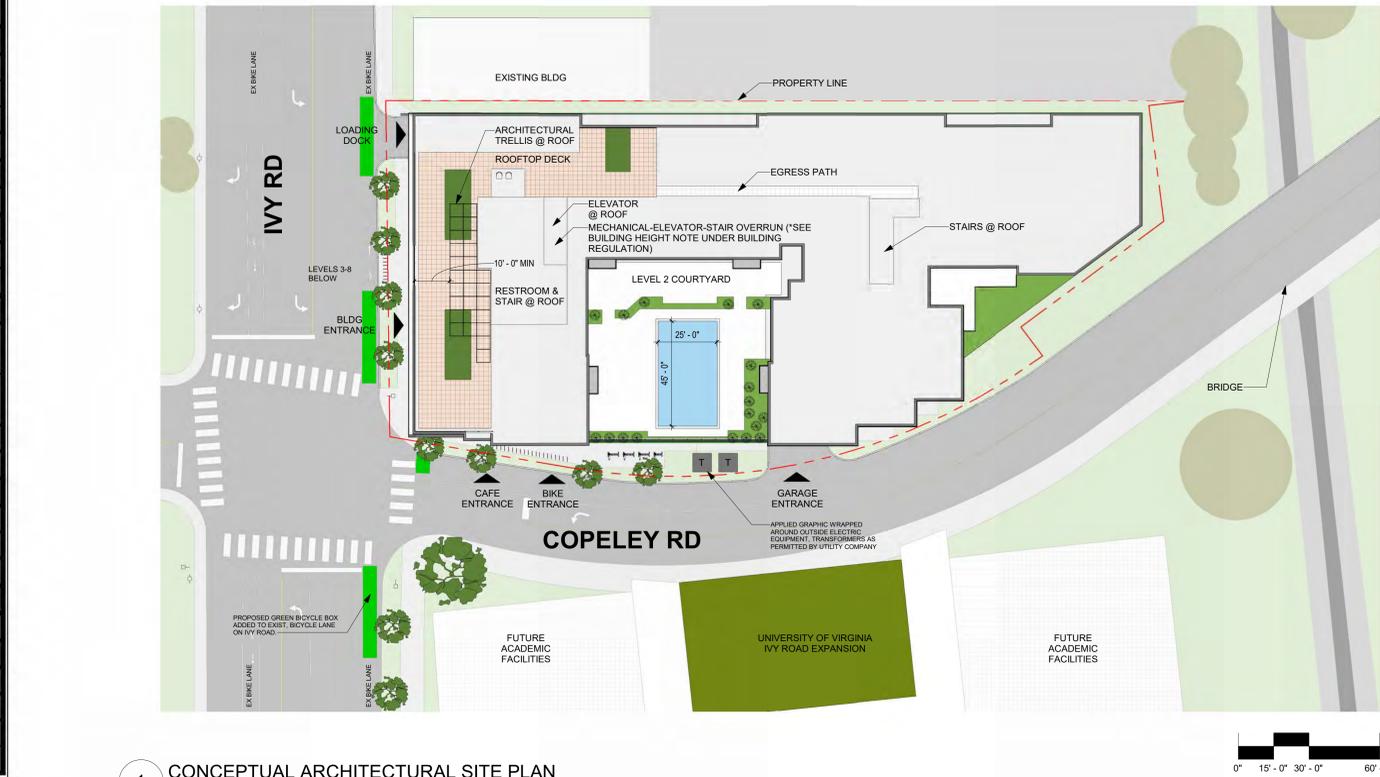
A-003

BUILDING REGULATIONS			
Building Regulations		FOR REFERENCE:	
Proposed PUD	Draft Zoning Code:	CX-8	
1. HEIGHT			
Overall height (max stories/feet)			
Stories (max)	10	Base	Bonus
Height (max) *	124'	114'	156'
2. MASSING			
Width (max)			
Primary street: Ivy Rd	275'	275'	
Side street: Copeley Rd	0'	0'	
Active Depth (min)			
Primary street: Ivy Rd	15'	15'	
Side street: Copeley Rd	0'	9'	
3. GROUND STORY			
Story height (min)			
Residential	10'	10'	
Nonresidential	14'	14'	
Finished floor elevation (min/max)			
Residential	2' / 5'	2' / 5'	
Nonresidential	-2' / 5'	-2' / 5'	
4. TRANSPARENCY			
	Primary St: Ivy Rd	Side St: Copeley Rd	Primary St: Ivy Rd
Ground story (min)			
Residential	35%	30%	35%
Nonresidential	50%	30%	30%
Upper story (min)	20%	20%	20%
Blank wall width (max)	25'	25'	15'
5. ENTRANCES			
	Primary St: Ivy Rd	Side St: Copeley Rd	Primary St: Ivy Rd
Street-facing entry spacing (max)	40'	75'	40'
Entry Feature	Yes	Yes	Yes
6. WALLS & FENCES			
Front yard height (max): Ivy Rd	4'		4'
Side street yard height (max): Copeley Rd	None		6'
*Rooftop equipment and rooftop structures are exempt from the calculation of building height pursuant to Section 34-1100 of the Zoning Ordinance provided they comply with the height and area requirements set forth in Section 34-1101(2), and contain no enclosed space that is designed for or that can be used as any type of habitable residential space. The proposed restroom facilities do not constitute habitable residential space under the 2018 Virginia Building Code.			
Zoning Lot Regulations			
Proposed PUD		Draft Zoning Code: CX-8	
1. SIZE FOR SUBDIVISION			
Area (min)	None		None
Width (min)			
Front access	40'		40'
Side/rear access	15'		15'
2. DENSITY			
Dwellings per zoning lot (max)	Unlimited		Unlimited
3. COVERAGE			
Building coverage (max)	None		None
Outdoor amenity space	10%		10%
4. BUILDING SETBACKS			
Primary street lot line (min/max): Ivy Rd	0' / 20'		0' / 10'
Side street lot line (min/max): Copeley Rd	0' / 20'		0' / 10'
Side lot line (min)	0'		0'
Rear lot line (min)	0'		0'
5. BUILD TO			
Build-to-width (min)			
Primary street: Ivy Rd	75%		75%
Side street: Copeley Rd	45%		45%
6. TRANSITION			
Transition type	None		None
7. PARKING LOCATION			
Front yard	Not allowed		Not allowed
Side street yard	Not allowed		Not allowed
Side yard	Allowed		Allowed
Rear yard	Allowed		Allowed

PARKING SUMMARY				
PARKING INFORMATION	Factor	Spaces	Spaces/Unit	Spaces/Bed
VEHICULAR PARKING				
Required Residential Parking (per Zoning Section 34-984 - Boarding House - 0.3 spaces/bedroom):	634	190	0.79	0.30
Required Retail Commercial Parking (per Zoning Section 34-984 - General - 3.5 spaces/1,000 sf):	1,757 SF	6		
Provided:				
Standard Parking Spaces:		100		
Compact Parking Spaces:		4		
Tandem - Standard Parking Spaces:		41		
Tandem - Compact Parking Spaces:		9		
Additional "Effective Parking" - Resident Car Share - (1 is equivalent to 30 standard spaces):	2	60		
Accessible Parking Spaces (includes HC van and car spaces):		8		
Total Vehicular Parking Provided (including car share "Effective Spaces"):		222	0.92	0.35
BICYCLE AND SCOOTER PARKING				
Required:				
Long Term (per Zoning Section 4.3.3.C.1)				
Residential Household Living - 1 per unit:	242	242	1.00	0.38
Commercial - 1 per 2,500 SF, min. 2	1,757 SF	2		
Short Term (per Zoning Section 4.3.3.C.1)				
Residential Household Living - 1 per 10 units:	242	24	0.10	0.04
Commercial - 1 per 5,000 SF, min. 2	1,757 SF	2		
Scooter:		N/A		
Provided:				
Long Term:		264	1.09	0.42
Short Term:		28	0.12	0.04
Scooter:		32	0.13	0.05
ALL FIGURES ARE APPROXIMATE				
BUILDING PARKING STATEMENT:				
PROJECT SHALL INCLUDE AT ALL TIMES INCLUDE A MINIMUM OF 244 LONG TERM BICYCLE SPACES AND 26 SHORT TERM BICYCLE SPACES. ALL BICYCLE SPACES MAY BE USED FOR SCOOTERS AND THE TERM "BICYCLE SPACES" SHALL ALSO PERMIT PRIVATE SCOOTERS IN LIEU OF BICYCLES IN SUCH SPACES.				

BUILDING AREA AND UNIT SUMMARY							
AREA SUMMARY							
RESIDENTIAL	LOBBY, AMENITY	COMMERCIAL, OTHER	COMMON	SERVICE	PARKING	EXTERIOR AMENITY AREA	TOTAL GSF
225,595 SF	12,385 SF	799 SF	37,860 SF	10,733 SF	54,989 SF	12,172 SF	342,361 SF
PLANNING, ZONING STATISTICS:							
BUILDING FOOTPRINT						35,009 SF	
LOT AREA						44,738 SF	
LOT COVERAGE						78%	
FLOOR AREA RATIO (FAR)						7.65	
UNIT SUMMARY							
UNIT TYPE	STUDIO	1-BED	2-BED	3-BED	4-BED	PROPOSED UNIT COUNT	MAX. # UNITS
TOTAL UNIT BY TYPE	0	77	26	25	103	231	287
% OF TOTAL	0.00%	33.33%	11.26%	10.82%	44.59%	100.00%	641

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1 CONCEPTUAL ARCHITECTURAL SITE PLAN
 1" = 30'-0"

ISSUE	DATE
PUD SUBMISSION	05/15/23
PUD RESPONSE #1	08/02/23
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PUD RESPONSE #3	11/21/23
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PUD RESPONSE #5	02/22/24

REVISION	DESCRIPTION	REV

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CONCEPTUAL OUTDOOR AMENITY SPACE DIAGRAM
 PUD RESPONSE #5

JOB NUMBER: 2347106

A-004

LEGEND - SITE PLAN

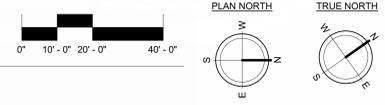
- OPEN SPACE/OUTDOOR AMENITY
- GRASS @ LEVEL 1
- SYNTHETIC TURF/VEGETATION (@ LEVEL 2)
- LEVEL 2 PAVING @ PRIVATE TERRACES @ COURTYARD
- SIDEWALK
- PROPOSED TRANSFORMER LOCATION
- TREES @ STREET LEVEL
- EXISTING TRAFFIC LIGHT
- EXISTING POLES

Open Space/Outdoor Amenity: Proposed PUD	
Required Open Space Square Footage	
15% gross area of parcel	6,711
20% of gross floor of commercial uses	2,121
Total SF Required:	8,832
Conceptual Open Space Square Footage	
2nd Floor Courtyard	6,989
Roof Deck	5,183
Total SF Provided:	12,172

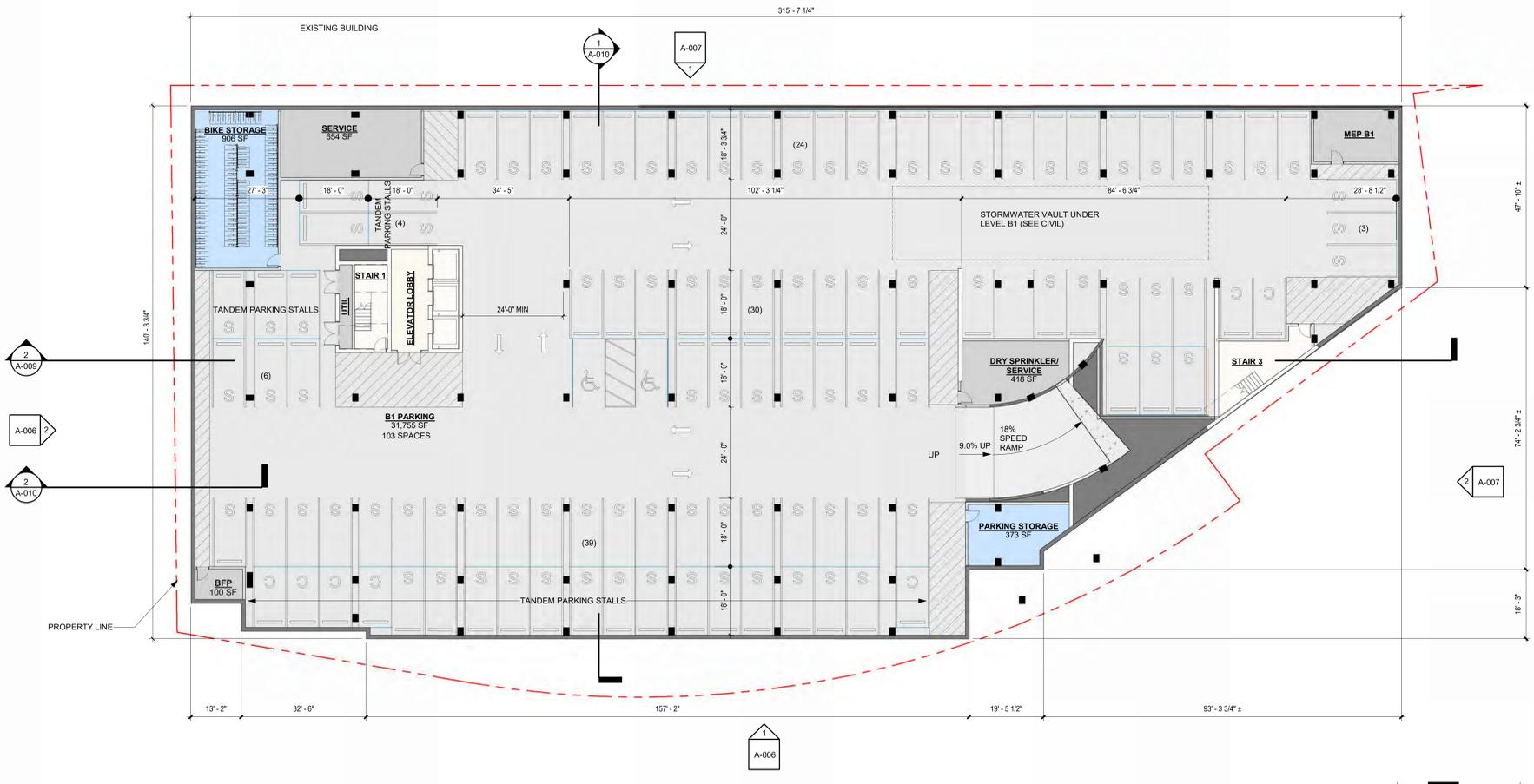
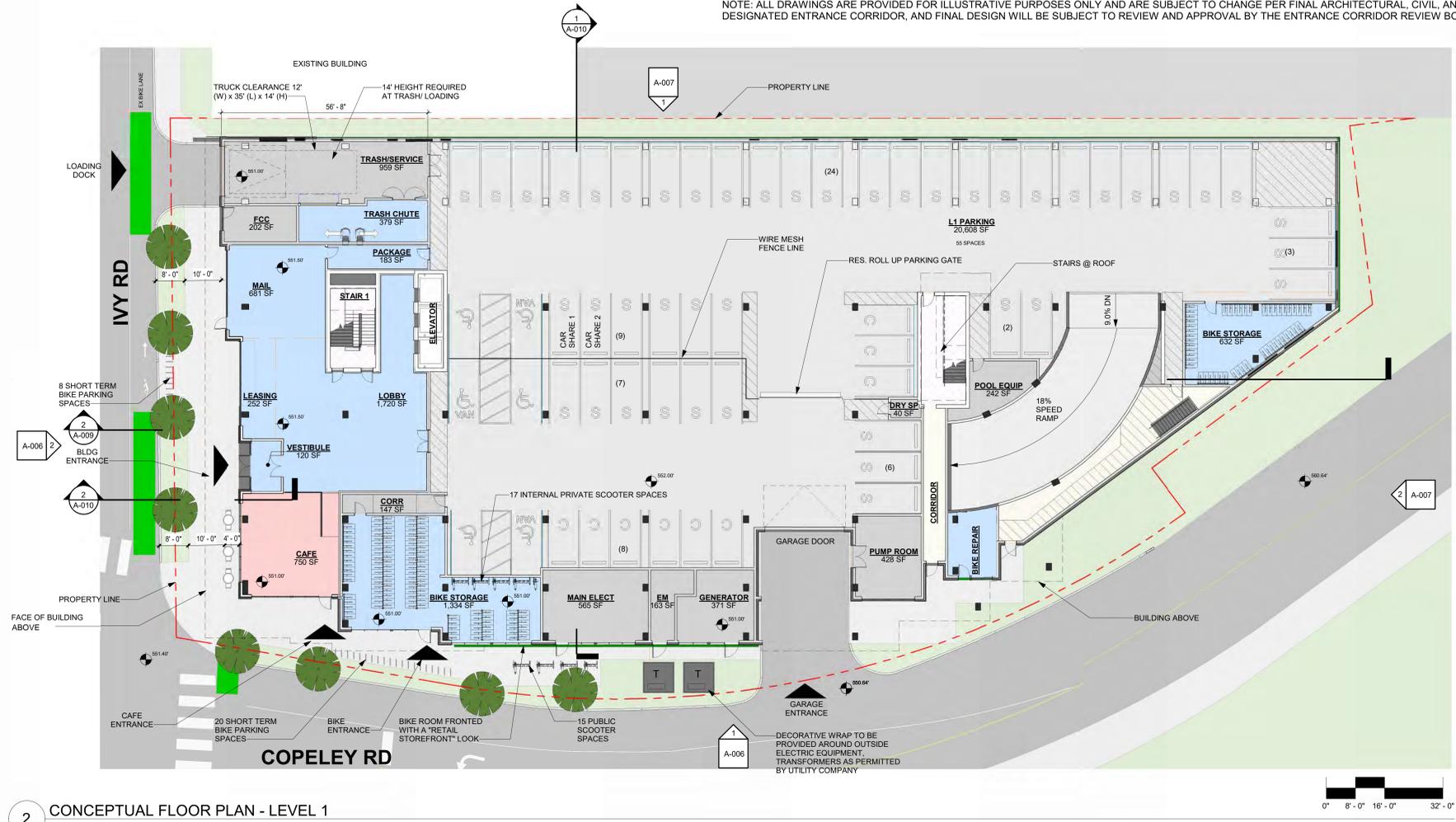
IN NO CASE SHALL THE TOTAL OPEN SPACE AREA BE LESS THAN REQUIRED UNDER SECTION 34-493 OF THE ZONING ORDINANCE.



1 CONCEPTUAL OUTDOOR AMENITY SPACE - 2ND FLOOR & ROOF
 1" = 20'-0"



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CONCEPTUAL FLOOR PLANS - B1 & L1
PUD RESPONSE #5

JOB NUMBER: 2347106

A-005A

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2 CONCEPTUAL FLOOR PLAN - LEVELS 3-8
1/16" = 1'-0"



1 CONCEPTUAL FLOOR PLAN - LEVEL 2
1/16" = 1'-0"



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2117 IVEY ROAD
CHARLOTTEVILLE, VA 22903

OWNER, APPLICANT
RMD PROPERTIES
211 E HIGH ST.
CHARLOTTEVILLE, VA 22902
TEL: 277.674.8844

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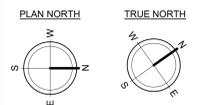
CONCEPTUAL FLOOR PLANS - L2 & L3-8

PUD RESPONSE #5

JOB NUMBER: 2347106

A-005B

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CONCEPTUAL FLOOR PLANS - L9-10

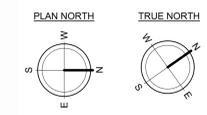
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A-005C



1 CONCEPTUAL FLOOR PLAN - LEVELS 9-10
 1/16" = 1'-0"



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ROOFTOP EQUIPMENT AND ROOFTOP STRUCTURES ARE EXEMPT FROM THE CALCULATION OF BUILDING HEIGHT PURSUANT TO SECTION 34-1100 OF THE ZONING ORDINANCE

AMENITY PRIVACY SCREENING



2 SOUTH ELEVATION AT IVY ROAD
1/16" = 1'-0"

LEGEND - EXTERIOR MATERIALS

	STD SIZE DARK BRICK WITH COLOR MATCHED MORTAR
	COMPOSITE PANEL A STACKED BOND RED
	COMPOSITE PANEL B SMOOTH DARK GRAY
	COMPOSITE PANEL C SMOOTH LIGHT GRAY
	ALUMINUM STOREFRONT SYSTEM - FRAME COLOR TO MATCH CPL-02 - CLEAR GLASS PER ECRB GUIDELINES
	PREFABRICATED WINDOWS - FRAME COLOR TO MATCH CPL-02 - UNTINTED CLEAR GLAZING
	DARK GRAY SPLIT FACE CMU WITH COLOR MATCHED MORTAR
	SECTIONAL OVERHEAD DOOR WITH TRANSLUCENT GLASS PANELS - FRAME COLOR TO MATCH CPL-02
	5'-0" H UNTINTED CLEAR GLASS WINDSCREEN - FRAME COLOR TO MATCH CPL-02

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CONCEPTUAL ELEVATIONS

PUD RESPONSE #5

JOB NUMBER: 2347106

A-006

ARCHITECTURAL TRELLIS

GLASS RAILING AT ROOF DECK

ROOFTOP EQUIPMENT AND ROOFTOP STRUCTURES ARE EXEMPT FROM THE CALCULATION OF BUILDING HEIGHT PURSUANT TO SECTION 34-1100 OF THE ZONING ORDINANCE

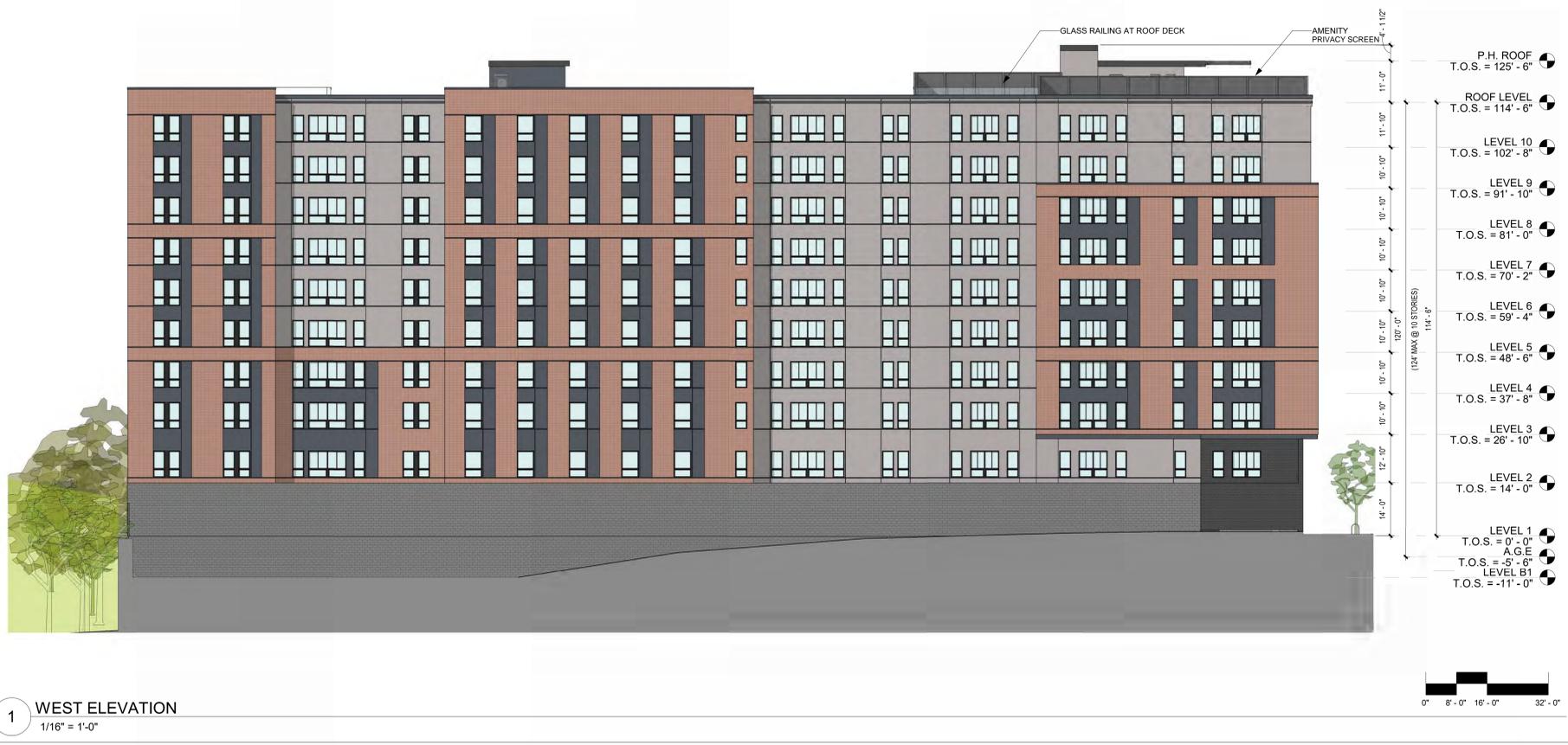


1 EAST ELEVATION @ COPELEY ROAD
1/16" = 1'-0"

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LEGEND - EXTERIOR MATERIALS	
	STD SIZE DARK BRICK WITH COLOR MATCHED MORTAR
	COMPOSITE PANEL A STACKED BOND RED
	COMPOSITE PANEL B SMOOTH DARK GRAY
	COMPOSITE PANEL C SMOOTH LIGHT GRAY
	ALUMINUM STOREFRONT SYSTEM - FRAME COLOR TO MATCH CPL-02 - CLEAR GLASS PER ECRB GUIDELINES
	PREFABRICATED WINDOWS - FRAME COLOR TO MATCH CPL-02 - UNTINTED CLEAR GLAZING
	DARK GRAY SPLIT FACE CMU WITH COLOR MATCHED MORTAR
	SECTIONAL OVERHEAD DOOR WITH TRANSLUCENT GLASS PANELS - FRAME COLOR TO MATCH CPL-02
	5'-0" H UNTINTED CLEAR GLASS WINDSCREEN - FRAME COLOR TO MATCH CPL-02



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CONCEPTUAL ELEVATIONS

PUD RESPONSE #5

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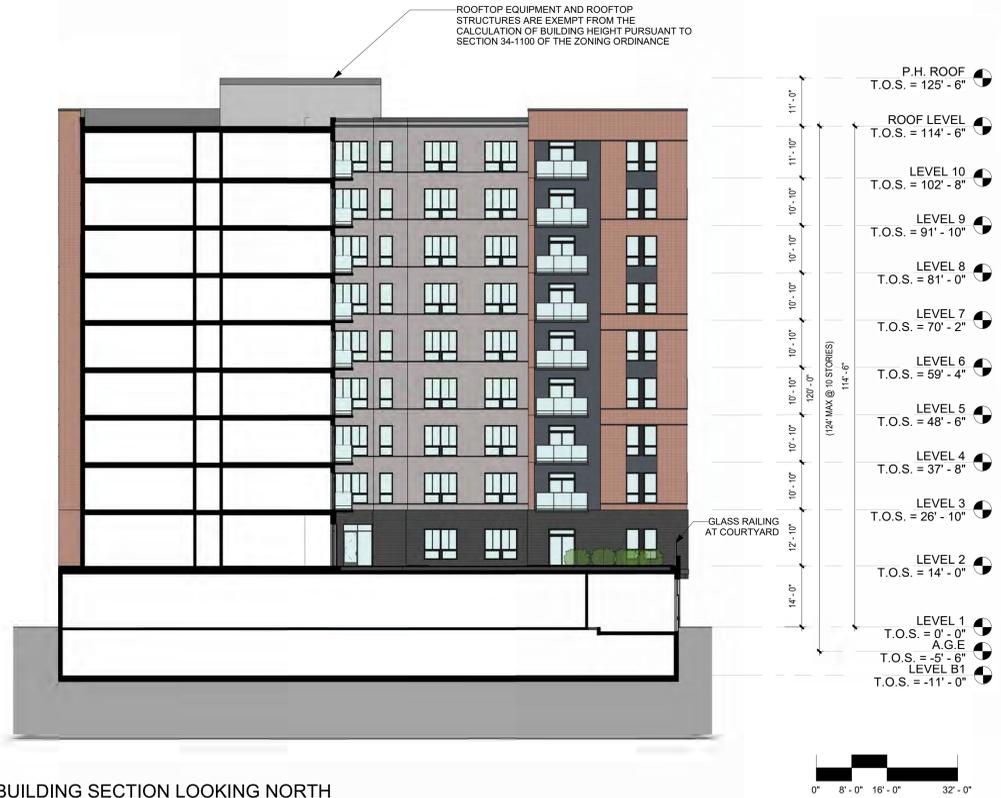
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INTERIOR COURTYARD VIEWS

PUD RESPONSE #5

JOB NUMBER: 2347106

A-008



2 CONCEPTUAL BUILDING SECTION LOOKING NORTH
 1/16" = 1'-0"



1 CONCEPTUAL BUILDING SECTION LOOKING SOUTH
 1/16" = 1'-0"

ISSUE	DATE
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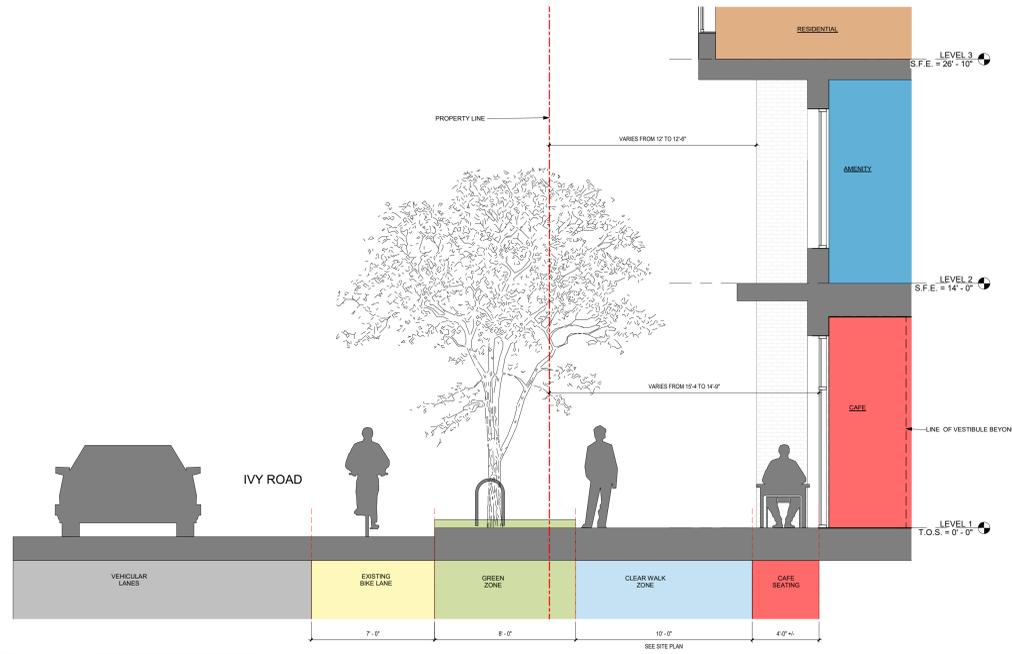
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CONCEPTUAL BUILDING SECTIONS

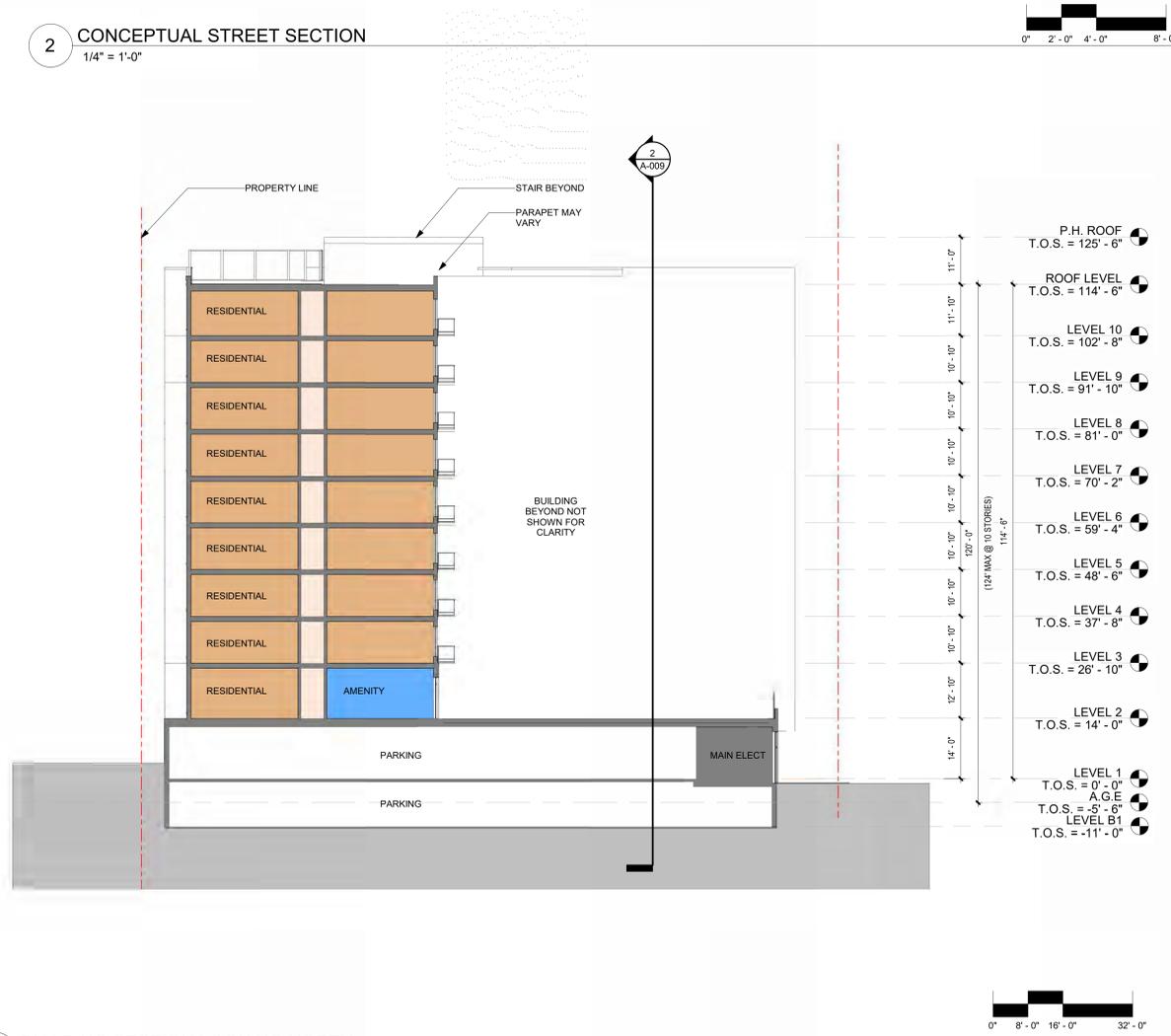
PUD RESPONSE #5

JOB NUMBER: 2347106

A-010



2 CONCEPTUAL STREET SECTION
1/4" = 1'-0"



1 BUILDING SECTION LOOKING NORTH
1/16" = 1'-0"



2117 IVY ROAD

2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

OWNER, APPLICANT
RMD PROPERTIES
211 E HIGH ST.
CHARLOTTESVILLE, VA 22902
TEL: 773-474-8844

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**CONCEPTUAL
PERSPECTIVE
IMAGE**

PUD RESPONSE #5

JOB NUMBER: 2347106

A-011

CONCEPTUAL PERSPECTIVE - CORNER OF IVY ROAD AND COPELEY ROAD

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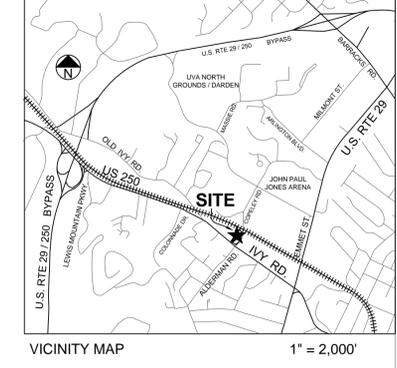
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BEST NAME:
ALTA NSPS LAND TITLE SURVEY

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C-001



LEGEND

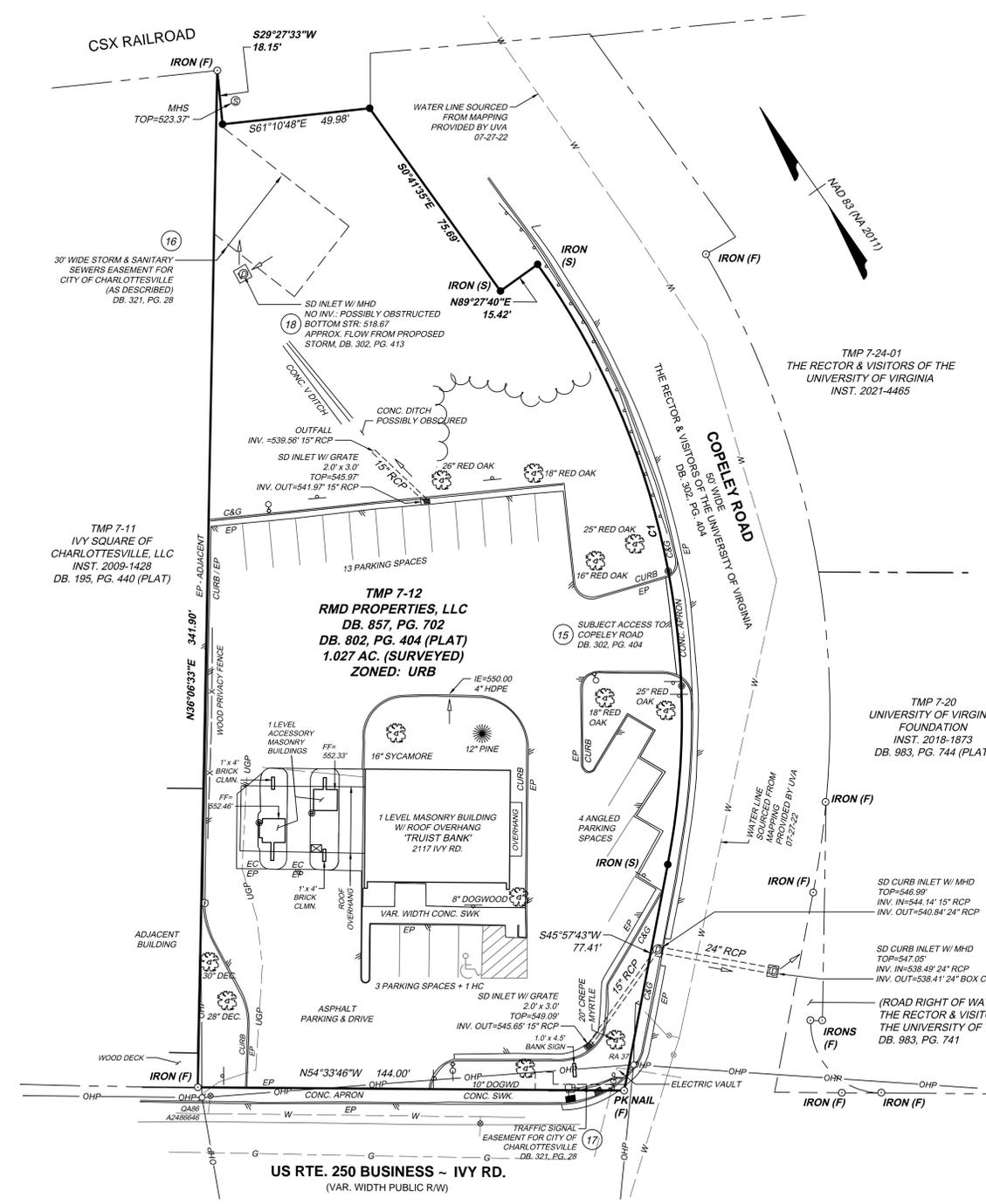
- WATER VALVE
- SANITARY SEWER MANHOLE (MHS)
- STORM DRAINAGE MANHOLE
- ▭ STORM DRAINAGE (SD) GRATE INLET
- DRAINAGE / FLOW DIRECTION
- RCP REINFORCED CONCRETE PIPE
- HOPE HIGH DENSITY POLYETHYLENE PIPE
- LIGHT POLE
- UTILITY BOX / VAULT AS NOTED
- UTILITY POLE
- ELECTRIC METER
- OVERHEAD POWER
- W UNDERGROUND WATER UTILITY
- SAN SANITARY SEWER PIPE
- G UNDERGROUND GAS LINE
- UGP UNDERGROUND POWER UTILITY
- GUARD RAIL
- EDGE OF PAVEMENT (EP)
- TREE / VEGETATION LINE
- DECIDUOUS (DEC) TREE
- CONIFEROUS TREE
- SIGN
- BOLLARD
- CURB & GUTTER
- SWK SIDEWALK
- EP EDGE OF PAVEMENT
- DB DEED BOOK
- PG PAGE
- INST. INSTRUMENT
- (F) PROPERTY COR. FOUND, AS NOTED
- CONTOUR INTERVAL = 1'

SURVEY NOTES:

- PROPERTY & ZONING INFORMATION:
 SUBJECT PROPERTY:
 OWNER: RMD PROPERTIES, LLC
 REFERENCE: DEED BOOK 857, PAGE 702
 CITY PID: 070001200 (TMP 7-12)
 PROPERTY ADDRESS: 2117 IVY ROAD
 AREA: 1.027 ACRES (SURVEYED)
 ZONED: URB
- DIMENSIONAL ZONING REGULATIONS, PER CITY OF CHARLOTTEVILLE CODE, CHAPTER 34, ARTICLE VI:
 SETBACKS:
 PRIMARY STREET FRONTAGE - 5 FEET MINIMUM, 30 FEET MAX
 LINKING STREET FRONTAGE - 5 FEET MINIMUM, 20 FEET MAX.
 SIDE - NONE
 MAX. STRUCTURE HEIGHT - 60 FEET
- EXISTING PARKING: STRIPED / DESIGNATED PARKING SPACES OBSERVED AND DEPICTED HEREON.
- THE BOUNDARY SHOWN HEREON IS BASED ON A FIELD SURVEY BY TIMMONS GROUP COMPLETED ON JULY 15, 2022.
- HORIZONTAL DATUM IS BASED ON NAD83 (NA2011), VIRGINIA STATE GRID, SOUTH ZONE. DATUM ESTABLISHED THROUGH NETWORK GPS (LEICA SMARTNET) OBSERVATIONS.
- BASED ON FEMA FLOOD INSURANCE RATE MAP (FIRM), MAP NO. 51003C0267D, PANEL 267 OF 575, EFFECTIVE DATE FEBRUARY 4, 2005. THE PROPERTY SHOWN HEREON LIES IN UNSHADED ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THIS PLAT WAS PREPARED WITH THE BENEFIT OF A TITLE REPORT, NOTED AS FOLLOWS:
 - COMMITMENT NO. SHTC22-1195, FROM CHICAGO TITLE INSURANCE COMPANY, DATED JULY 06, 2022.
- THE LANDS SURVEYED ARE THE SAME AS DESCRIBED IN THE REFERENCED TITLE COMMITMENT.
- THERE IS NO OBSERVABLE EVIDENCE OF BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE SUBJECT PROPERTY; NO EVIDENCE OF RECENT EARTH MOVING WORK OBSERVED (INCIDENTAL TO SUBSTANTIAL GRADING CHANGES), DEMOLITION OF HOUSE APPARENT
- NO EVIDENCE OF CEMETERY OR BURIAL GROUND OBSERVED IN THE PROCESS OF CONDUCTING THE SURVEY FIELD-WORK.
- ON THE DATE OF THE SURVEY, THERE WAS NO VISUAL EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP, OR SANITARY LANDFILL, (COLLECTIONS OF RESIDENTIAL RUBBISH OBSERVED IN SOME AREAS.)
- REGARDING TABLE A, ITEM 11, LOCATION OF UNDERGROUND UTILITIES SHOWN HEREON ARE DERIVED FROM THE FOLLOWING METHODS:
 - OBSERVED EVIDENCE COLLECTED DURING FIELD PROCEDURES AND SURVEY OF SITE.
 - MISS UTILITY (811) TICKET INITIATION, TICKET NO. A219300827. NO FORMAL UNDERGROUND UTILITY INVESTIGATION (SUE) BEYOND INFORMATION PROVIDED BY MISS UTILITY HAS BEEN CONDUCTED BY THIS FIRM.
 - WATER LINE AND VALVES ON COPELEY ROAD DEPICTED VIA GIS DATA PROVIDED BY THE UNIVERSITY OF VIRGINIA.

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	261.52'	212.25'	112.36'	46°30'03"	S22°42'42"W	206.47'



Property Information within 500 feet of Proposed PUD

Property Owner	Property Address	Address	City, State	Zip Code	Parcel ID Number	Zoning
BOLLINGWOOD PROPERTIES, LLC	115 BOLLINGWOOD RD	580 MASSIE RD	CHARLOTTEVILLE VA	22903	70024000	R-1U
BOYADJIAN, SIMON K	2120 IVY RD	2120 IVY RD	CHARLOTTEVILLE VA	22903	70003000	B-1
C & O RAILWAY COMPANY	0 UNKNOWN	C-12 500 WATER	JACKSONVILLE FL	32202	3505550000	MLTP
CAPONE, GERARD, JR	2107 MORRIS RD	2107 MORRIS RD	CHARLOTTEVILLE VA	22903	70003700	R-1U
DAVIS, ROGER HB JR & JEANNE S. TRUSTS	13 IVY RD	6207 RIVERSIDE FARM LN	CAPE CHARLES VA	23310	70001400	URB
ELIAS, WILLIAM J & JULIANA B	123 BOLLINGWOOD RD	123 BOLLINGWOOD RD	CHARLOTTEVILLE VA	22903	70022000	R-1UH
EQUITY SHELTER, LLC	2114 IVY RD	P O BOX 6186	CHARLOTTEVILLE VA	22906	70003210	B-1
FIELDS, MARY ELIZABETH	111 ALDERMAN RD	111 ALDERMAN RD	CHARLOTTEVILLE VA	22903	70003180	R-U
GORMAN, NEAL A & CARLA DURAN-GORMAN, TRUSTEES	2108 MORRIS RD	2108 MORRIS RD	CHARLOTTEVILLE VA	22903	70003110	R-U
HILINSKI, MICHAEL & DAPHNA BASSOK	2109 MORRIS RD	2109 MORRIS RD	CHARLOTTEVILLE VA	22903	70003600	R-U
IVY SQUARE OF CHARLOTTEVILLE, LLC	2121 IVY RD	1 BOAR'S HEAD POINTE	CHARLOTTEVILLE VA	22903	70001000	URB
IVY SQUARE OF CHARLOTTEVILLE, LLC	2119 IVY RD	1 BOAR'S HEAD POINTE	CHARLOTTEVILLE VA	22903	70001100	URB
IVY SQUARE OF CHARLOTTEVILLE, LLC	2123-25 IVY RD	1 BOAR'S HEAD POINTE	CHARLOTTEVILLE VA	22903	70001300	URB
JEFFERSON, NATIONAL BANK	2100 IVY RD	P O BOX 2609	CARLSBAD CA	92018	70003201	B-1
LEE, SEUNG HUN & LOUCA, DESPO A	2103 MORRIS RD	2103 MORRIS RD	CHARLOTTEVILLE VA	22903	70003900	R-1U
LESSARD, STEPHEN C	2101 MORRIS RD	228 E 13TH ST APT 26	NEW YORK NY	10003	70003100	R-1U
MONTAGUE, PERCY, IV & ANNE C	117 BOLLINGWOOD RD	117 BOLLINGWOOD RD	CHARLOTTEVILLE VA	22903	70023000	R-1U
SMITH, MARK J & MARINA M HEISS	2105 MORRIS RD	2105 MORRIS RD	CHARLOTTEVILLE VA	22903	70003800	R-1U
ST ANNE'S-BELFIELD, INC	2132 IVY RD	2132 IVY RD	CHARLOTTEVILLE VA	22903	70001101	R-1U
ST MARKS EVAN LUTHERAN CHURCH	100 ALDERMAN RD	100 ALDERMAN RD	CHARLOTTEVILLE VA	22903	70003101	R-1U
STEBBINS, DENISE C	113 ALDERMAN RD	113 ALDERMAN RD	CHARLOTTEVILLE VA	22903	70003170	R-1U
THE RECTOR & VISITORS OF THE UNIVERSITY OF VIRGINIA	2023 IVY RD	PO BOX 400884	CHARLOTTEVILLE VA	22904	70002200	URB
THE RECTOR & VISITORS OF THE UNIVERSITY OF VIRGINIA	2015 IVY RD	PO BOX 400884	CHARLOTTEVILLE VA	22904	70002300	URB
THE RECTOR & VISITORS OF THE UNIVERSITY OF VIRGINIA	2015 IVY RD	PO BOX 400884	CHARLOTTEVILLE VA	22904	70002401	URB
THE RECTOR & VISITORS OF THE UNIVERSITY OF VIRGINIA	101 EMMET ST N	PO BOX 400884	CHARLOTTEVILLE VA	22904	80001000	MLTP
THE STORY HOUSE LLC	2110 IVY RD	2110 IVY RD	CHARLOTTEVILLE VA	22903	70003190	B-1
UNIVERSITY OF VIRGINIA FOUNDATION	2033 IVY RD	PO BOX 400218	CHARLOTTEVILLE VA	22904	70002000	URB
UNIVERSITY OF VIRGINIA FOUNDATION	2025-29 IVY RD	PO BOX 400218	CHARLOTTEVILLE VA	22904	70002100	URB
UNIVERSITY OF VIRGINIA FOUNDATION	2019 IVY RD	PO BOX 400218	CHARLOTTEVILLE VA	22904	70025000	R-1U
UNIVERSITY OF VIRGINIA FOUNDATION	0 IVY RD	PO BOX 400218	CHARLOTTEVILLE VA	22904	70026000	R-1U
UNIVERSITY OF VIRGINIA FOUNDATION	2001 IVY RD	PO BOX 400218	CHARLOTTEVILLE VA	22904	70027000	R-1U
UNIVERSITY OF VIRGINIA FOUNDATION	107 BOLLINGWOOD RD	PO BOX 400218	CHARLOTTEVILLE VA	22904	70028000	R-1U
UNIVERSITY OF VIRGINIA FOUNDATION	101 BOLLINGWOOD RD	PO BOX 400218	CHARLOTTEVILLE VA	22904	70029000	R-1U

ALTA/NSPS SURVEYOR'S CERTIFICATION
 TO CHICAGO TITLE INSURANCE COMPANY, RMD PROPERTIES, LLC, & UP CAMPUS HOLDINGS, L.C. A DELAWARE LIMITED LIABILITY COMPANY, ITS SUCCESSORS AND / OR ASSIGNS:
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS AND INCLUDES ITEMS 1, 2, 3, 4, 6(a)-(i), 8, 11(a), 13, 14, 16, 17, 18, & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON OCTOBER 4, 2021. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA AND NSPS AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE COMMONWEALTH OF VIRGINIA, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.



'ALTA/NSPS LAND TITLE SURVEY'
 OF 1.027 ACRES
 FRONTING IVY ROAD
 BEING
 CITY PID 070001200
 IN THE
 CITY OF CHARLOTTEVILLE, VIRGINIA

Visible Area	Charlottesville, VA
DATE: August 5, 2022	SCALE: 1" = 25'
SHEET 1 OF 1	J.N. - 54985
DRAWN BY: MKT - JCM	CHECK BY: JCM
LAST REVISED: -	

ISSUE	DESCRIPTION	DATE
PUD SUBMISSION		05/15/2023
PUD RESPONSE		08/02/2023
PUD RESPONSE #2		10/06/2023
PUD RESPONSE #3		11/21/2023
PUD RESPONSE #4		12/13/2023
PUD RESPONSE #5		02/22/2024

REVISION	DATE	DESCRIPTION	REV

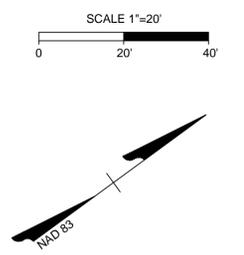
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SHEET NAME:
EXISTING CONDITIONS PLAN

JOB NUMBER: 2347106

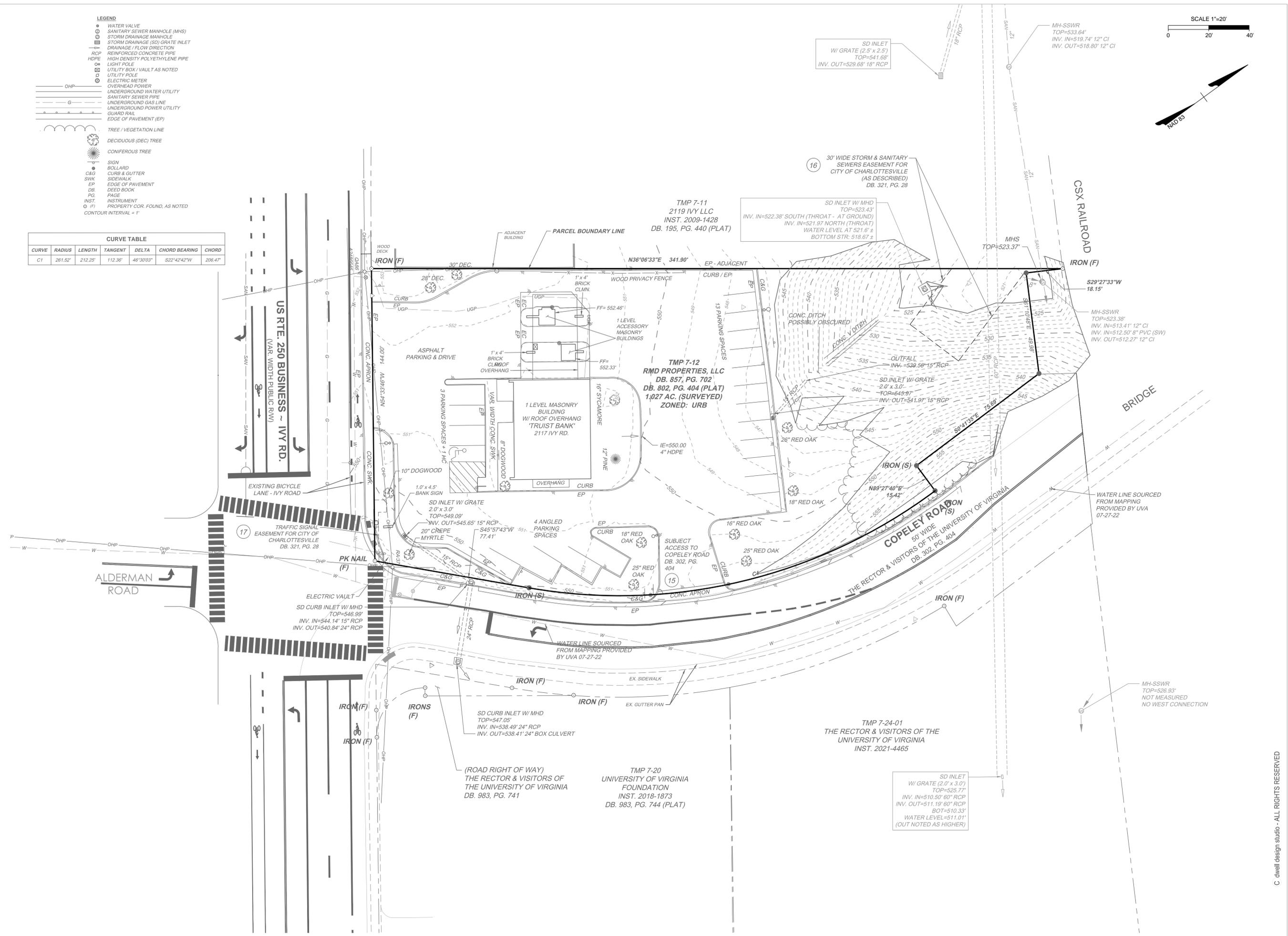
C-002



- LEGEND**
- WATER VALVE
 - SANITARY SEWER MANHOLE (MHS)
 - STORM DRAINAGE (SD) GRATE INLET
 - DRAINAGE / FLOW DIRECTION
 - RCP REINFORCED CONCRETE PIPE
 - HDPE HIGH DENSITY POLYETHYLENE PIPE
 - LIGHT POLE
 - UTILITY BOX / VAULT AS NOTED
 - UTILITY POLE
 - ELECTRIC METER
 - OHP OVERHEAD POWER
 - UGW UNDERGROUND WATER UTILITY
 - SGP SANITARY SEWER PIPE
 - UGL UNDERGROUND GAS LINE
 - UGU UNDERGROUND POWER UTILITY
 - GR GUARD RAIL
 - EP EDGE OF PAVEMENT (EP)
 - TV TREE / VEGETATION LINE
 - DECIDUOUS (DEC) TREE
 - CONIFEROUS TREE
 - SIGN BOLLARD
 - CURB & GUTTER
 - SWK SIDEWALK
 - EP EDGE OF PAVEMENT
 - DB DEED BOOK
 - PG PAGE
 - INST INSTRUMENT
 - (F) PROPERTY COR. FOUND, AS NOTED
 - CONTOUR INTERVAL = 1'

CURVE TABLE

CURVE	RADIUS	LENGTH	TANGENT	DELTA	CHORD BEARING	CHORD
C1	261.52'	212.25'	112.36'	46°30'03"	S22°42'42"W	206.47'



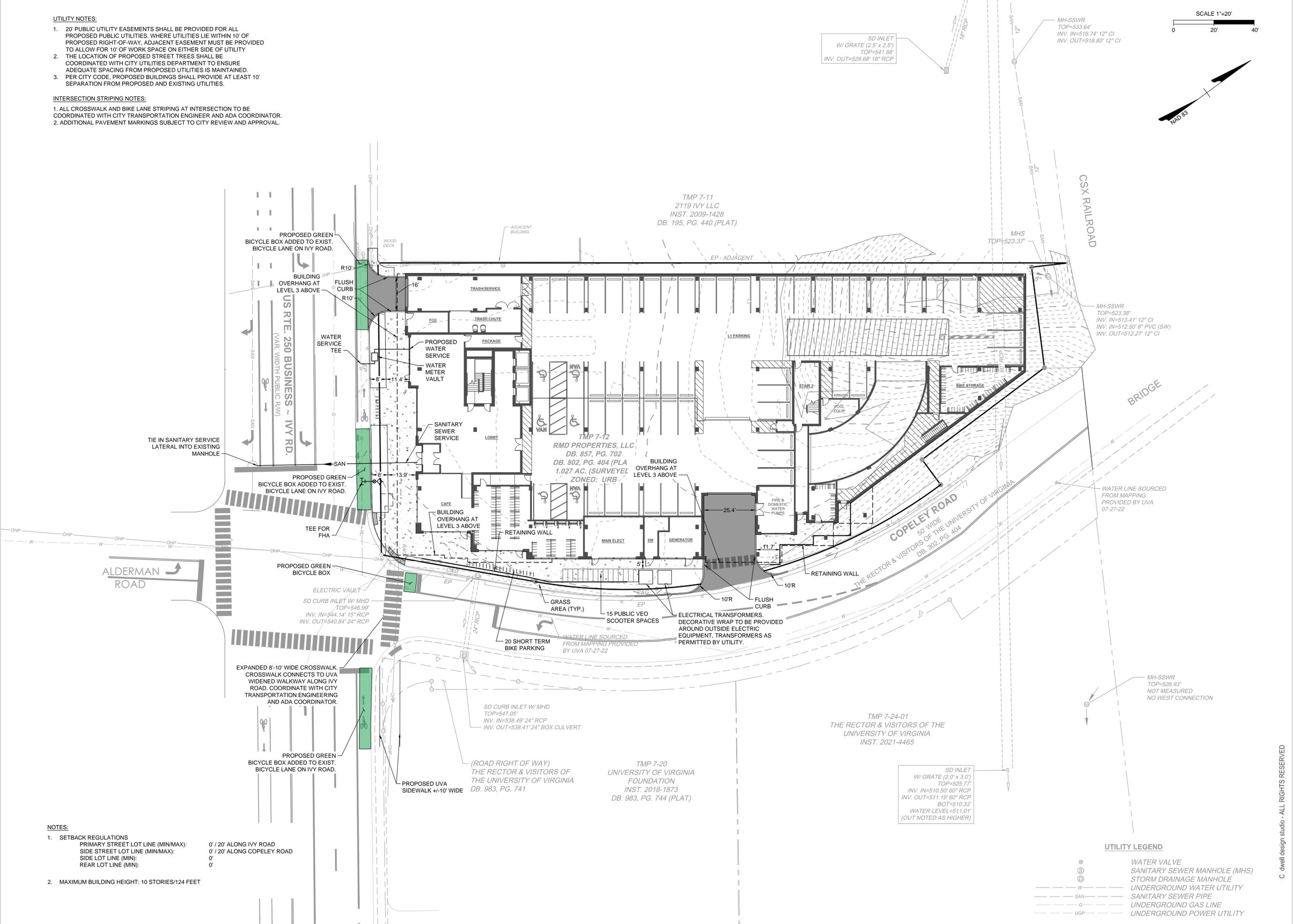
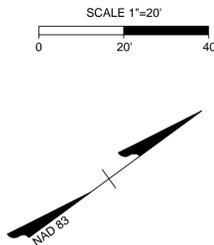
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UTILITY NOTES:

- 20' PUBLIC UTILITY EASEMENTS SHALL BE PROVIDED FOR ALL PROPOSED PUBLIC UTILITIES. WHERE UTILITIES LIE WITHIN 10' OF PROPOSED RIGHT-OF-WAY, ADJACENT EASEMENT MUST BE PROVIDED TO ALLOW FOR 10' OF WORK SPACE ON EITHER SIDE OF UTILITY.
- THE LOCATION OF PROPOSED STREET TREES SHALL BE COORDINATED WITH CITY UTILITIES DEPARTMENT TO ENSURE ADEQUATE SPACING FROM PROPOSED UTILITIES IS MAINTAINED.
- PER CITY CODE, PROPOSED BUILDINGS SHALL PROVIDE AT LEAST 10' SEPARATION FROM PROPOSED AND EXISTING UTILITIES.

INTERSECTION STRIPING NOTES:

- ALL CROSSWALK AND BIKE LANE STRIPING AT INTERSECTION TO BE COORDINATED WITH CITY TRANSPORTATION ENGINEER AND ADA COORDINATOR.
- ADDITIONAL PAVEMENT MARKINGS SUBJECT TO CITY REVIEW AND APPROVAL.



- NOTES:**
- SETBACK REGULATIONS
 PRIMARY STREET LOT LINE (MIN/MAX): 0' / 20' ALONG IVY ROAD
 SIDE STREET LOT LINE (MIN/MAX): 0' / 20' ALONG COPELEY ROAD
 SIDE LOT LINE (MIN): 0'
 REAR LOT LINE (MIN): 0'
 - MAXIMUM BUILDING HEIGHT: 10 STORIES/124 FEET

UTILITY LEGEND

⊙	WATER VALVE
⊙	SANITARY SEWER MANHOLE (MHS)
⊙	STORM DRAINAGE MANHOLE
---	UNDERGROUND WATER UTILITY
---	SANITARY SEWER PIPE
---	UNDERGROUND GAS LINE
---	UNDERGROUND POWER UTILITY



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 RICHMOND, VA 23230
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2117 IVY ROAD
 CHARLOTTEVILLE, VA 22903

ISSUE DESCRIPTION	DATE
PUD SUBMISSION	05/15/2023
PUD RESPONSE	08/02/2023
PUD RESPONSE #2	10/06/2023
PUD RESPONSE #3	11/21/2023
PUD RESPONSE #4	12/13/2023
PUD RESPONSE #5	02/22/2024

REVISION DATE	DESCRIPTION	REV

NOT FOR CONSTRUCTION

LAYOUT & UTILITIES PLAN

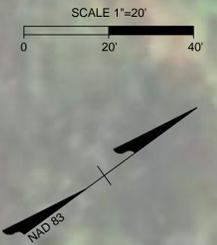
JOB NUMBER: 2347106

C-003

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INTERSECTION STRIPING NOTES:

1. ALL CROSSWALK AND BIKE LANE STRIPING AT INTERSECTION TO BE COORDINATED WITH CITY TRANSPORTATION ENGINEER AND ADA COORDINATOR.
2. ADDITIONAL PAVEMENT MARKINGS SUBJECT TO CITY REVIEW AND APPROVAL.



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2117 IVY ROAD

CHARLOTTEVILLE, VA 22903

A DEVELOPMENT FOR:

ISSUE DESCRIPTION	DATE
PUD SUBMISSION	05/15/2023
PUD RESPONSE	08/02/2023
PUD RESPONSE #2	10/06/2023
PUD RESPONSE #3	11/21/2023
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PUD RESPONSE #5	02/22/2024

REVISION DATE	DESCRIPTION	REV

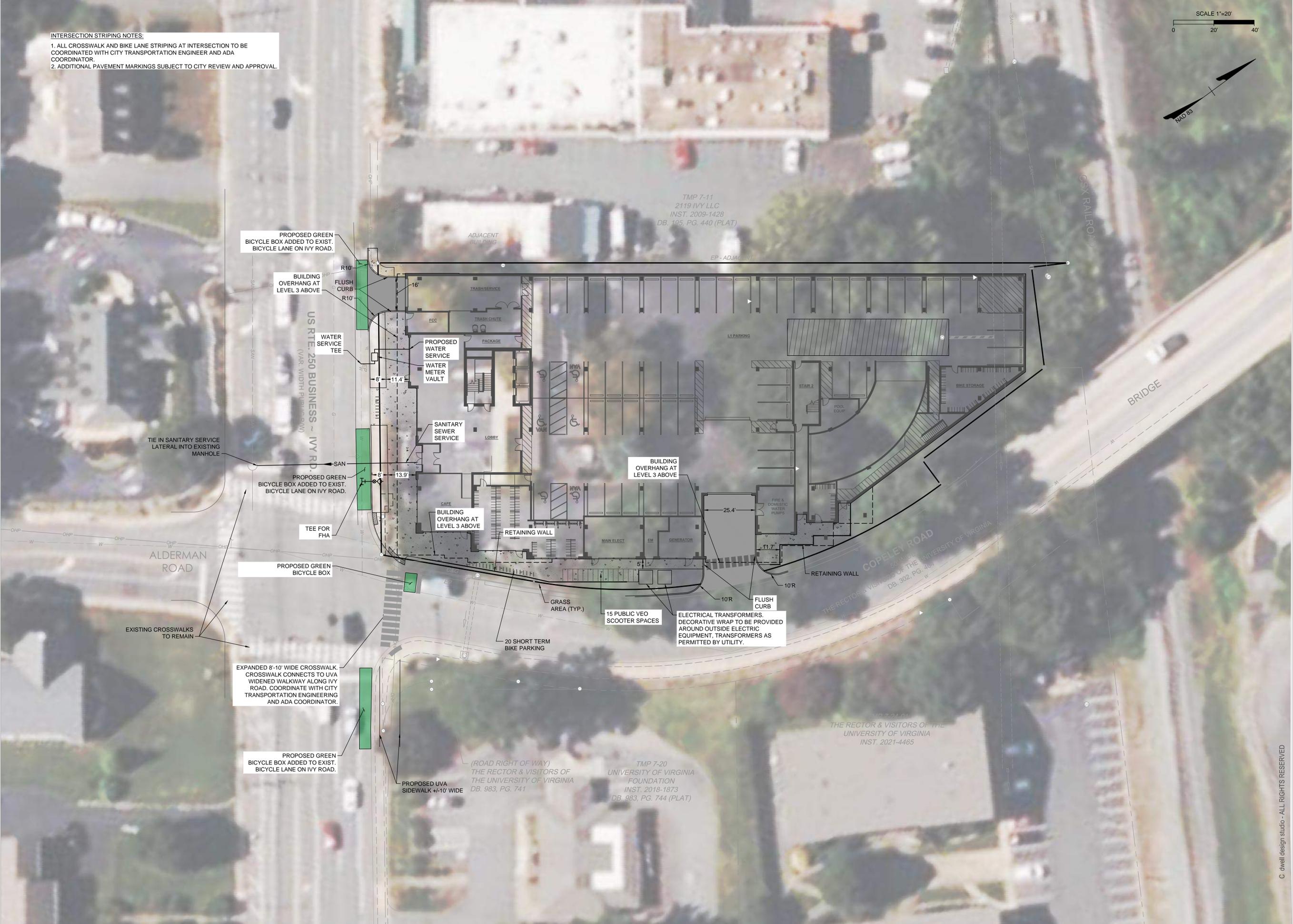
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SHEET NAME:
AERIAL ROAD & BIKE LANE STRIPING EXHIBIT

JOB NUMBER: 2347106

C-003.1



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STORMWATER MANAGEMENT NARRATIVE:

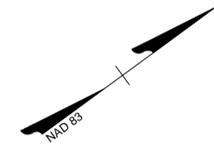
STORMWATER QUANTITY

STORMWATER QUANTITY REQUIREMENTS AS DESCRIBED IN 9VAC25-870-66 FOR BOTH CHANNEL AND FLOOD PROTECTION WILL BE MET THROUGH ON-SITE STORMWATER STORAGE FACILITY.

STORMWATER QUALITY

STORMWATER QUALITY REQUIREMENTS AS DESCRIBED IN 9VAC25-870-64 & -65 WILL BE MET THROUGH EITHER OFFSITE NUTRIENT CREDIT PURCHASE, ON-SITE TREATMENT FACILITIES, OR A COMBINATION OF THE TWO.

SCALE 1"=20'



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2117 IVY ROAD

CHARLOTTEVILLE, VA 22903

A DEVELOPMENT FOR:

ISSUE DESCRIPTION	DATE
PUD SUBMISSION	05/15/2023
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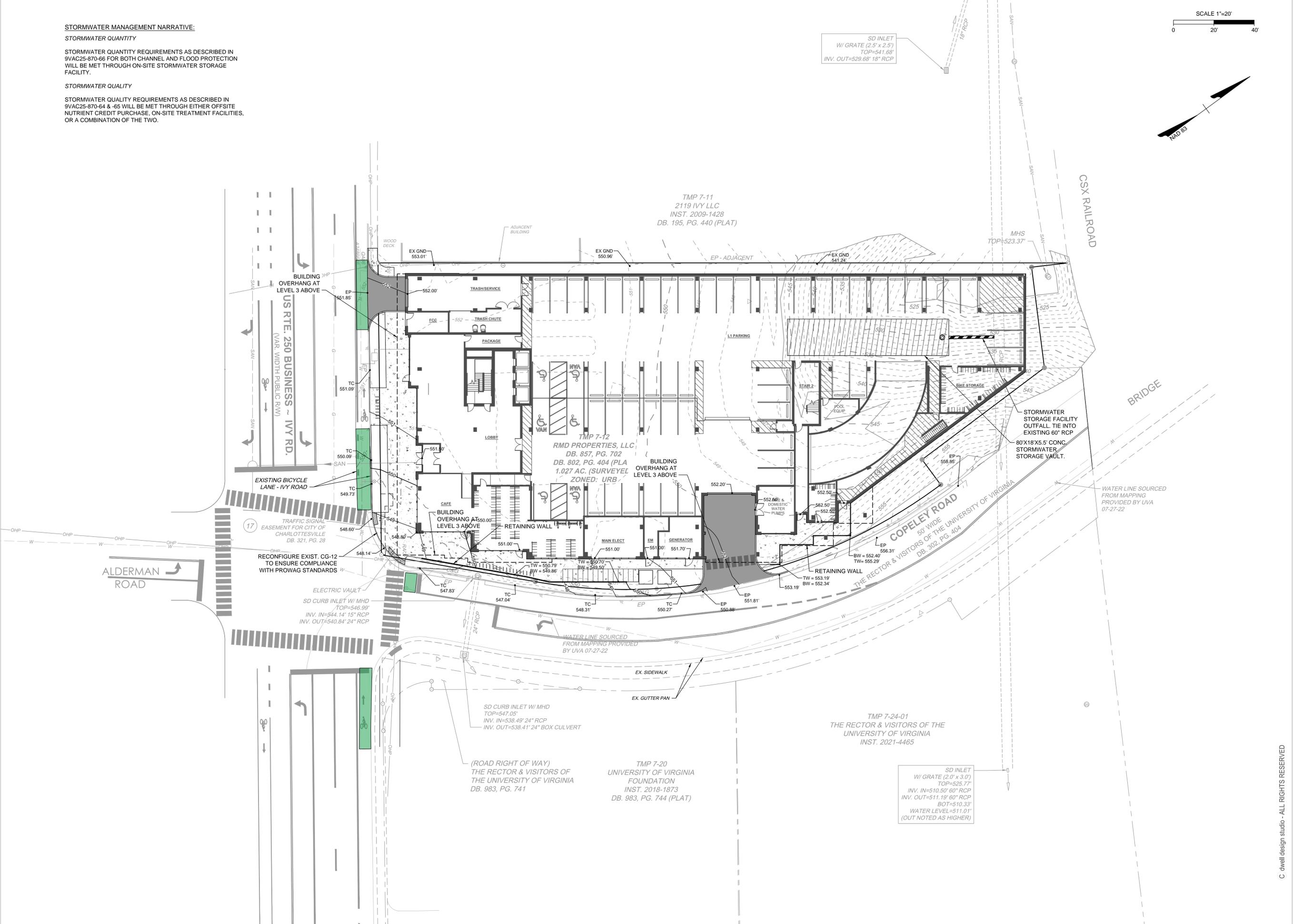
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GRADING AND DRAINAGE PLAN

JOB NUMBER: 2347106

C-004

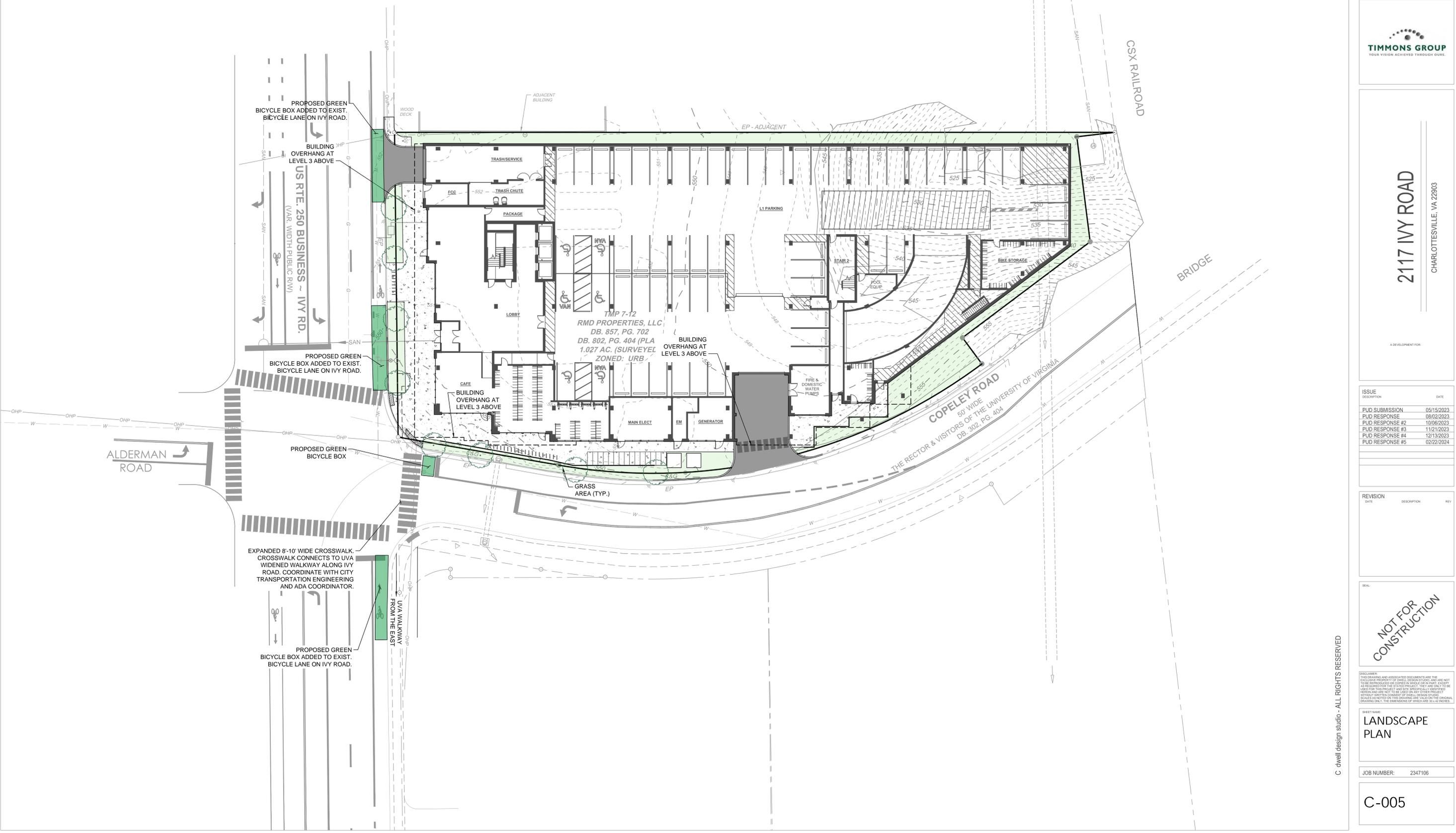
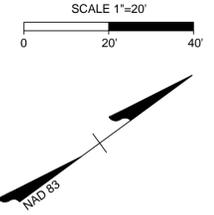


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PLANTING SCHEDULE						
QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	CANOPY AREA	TOTAL
8	QUERCUS PHELLOS	WILLOW OAK	2" CAL.	B&B	370	2960
					CANOPY GRAND TOTAL	2960

NOTES:

1. THE PLANNED UNIT DEVELOPMENT (PUD) SHALL BE IN SUBSTANTIAL CONFORMITY TO THIS PUD DEVELOPMENT PLAN, SUBJECT TO CHANGES AND REVISIONS COINCIDENT WITH THE LAND USE PLANNING, CIVIL ENGINEERING, ARCHITECTURE, AND REGULATORY APPROVAL PROCESS, WHICH WILL RESULT IN SOME PLAN MODIFICATION.
2. SIDEWALKS 5' MINIMUM WIDTH AS SHOWN.
3. PLANTING STRIPS BETWEEN ROAD AND SIDEWALK 4' MINIMUM. ALL TREES TO BE SELECTED FROM THE CHARLOTTESVILLE MASTER TREE LIST.



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2117 IVY ROAD
CHARLOTTESVILLE, VA 22903

ISSUE DESCRIPTION	DATE
PUD SUBMISSION	05/15/2023
PUD RESPONSE	08/02/2023
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PUD RESPONSE #3	11/21/2023
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SHEET NAME:
LANDSCAPE PLAN

JOB NUMBER: 2347106

C-005

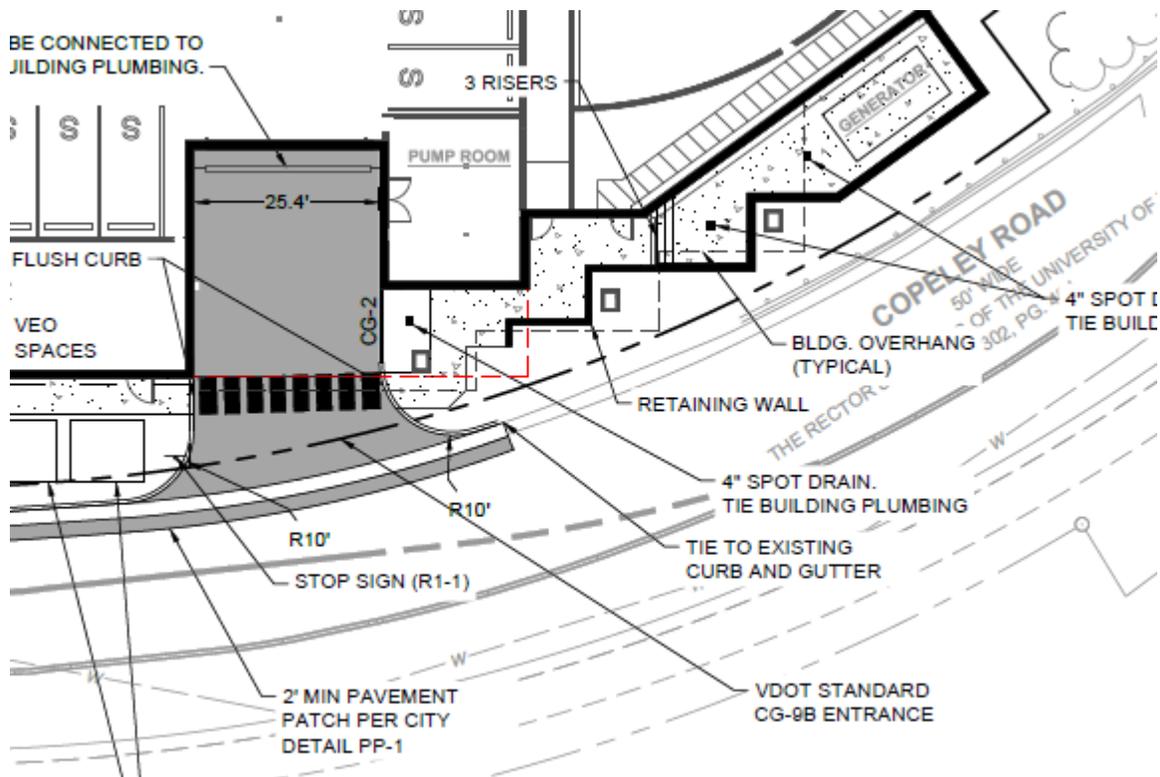
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RESOLUTION
SIDEWALK WAIVER REQUEST FOR A RESIDENTIAL DEVELOPMENT
REFERRED TO AS “2117 IVY ROAD PUD”

WHEREAS, Timmons Group (“Applicant”), on behalf of Up Campus Student Living, (“Owner”) the owner of certain land fronting on Ivy Road and Copeley Road, designated on the City Tax Map and Parcel (TMP) as Parcel 070001200 (the “Subject Property”), has submitted an application seeking a waiver of the requirement of City Code Section 29-182(j)(3) that sidewalks shall be constructed and land dedicated to the public for developments along existing streets to connect them to existing sidewalks. This application is submitted in connection with the Applicant/Owner’s proposed development of ZM23-00003 (Planned Unit Development), and

WHEREAS, City staff has submitted to City Council a staff report providing information and staff’s recommendation regarding the sidewalk waiver request, and City Council has reviewed the application and the staff report and has considered the factors set forth within the City’s Subdivision Ordinance, Sections 29-36 and 29-182(j)(5); now, therefore,

BE IT RESOLVED by the Council for the City of Charlottesville, Virginia that the sidewalk waiver request presented to this Council by the Applicant/Developer is hereby granted along approximately one hundred thirty (130) feet along the west side of Copeley Road abutting City Lots currently identified as Real Estate Parcel Identification Number 070001200 as depicted below.





**Entrance Corridor Review Board
Certificate of Appropriateness Request for 1117 Emmet Street North
(Barracks Road Shopping Center)**

**Planning Commission Regular Meeting
Date of Planning Commission Meeting: December 10, 2024**

Project Name: Barracks Road Shopping Center Façade Enhancements – Phase 1

Property Street Address: 1117 Emmet Street North

Property Owner: Federal Realty Investment Trust

Project Planner: Dannan O’Connell

Zoning: NX-10 with Entrance Corridor (EC) Overlay

Entrance Corridor Overlay District: Corridor 1, Route 29 North (from corporate limits to Ivy Road), Sub-Area C (Barracks Road to Ivy Road), and Corridor 3, Barracks Road (from the corporate limits to Meadowbrook Road)

Tax Map/Parcel #: 010001000

Site Acreage: Entire shopping center is 39.83 acres. This request will impact a small portion of the main shopping center.

ERB staff report prepared by: Jeff Werner, AICP, Preservation and Design Planner

Submittal: [Attached]

- BCT Design Group submittal *Barracks Road Shopping Center Schematic Design Package – Phase 1*, dated September 16, 2024, 50 sheets.
- Studio 39 Landscape Plan Barracks Road Shopping Center Sidewalk Improvements, dated 10.30.2024, sheet L5.01.

Relevant Code Section

§2.9.5. of the City’s Code of Development establishes Entrance Corridor (EC) overlay districts. The Barracks Road Shopping Center is within Sub-area C of the Route 29 North EC and within the Barracks Road EC (See maps in Appendix). Per §5.1.3.B.2. of the City’s Code of Development, the Planning Commission serves as the Entrance Corridor Review Board (ERB) responsible for administering the design review process in entrance corridor overlay districts. This development project requires a site plan, and therefore also requires a certificate of appropriateness (CoA) from the ERB, pursuant to the provisions of §5.2.8. of the City’s Code of Development. The ERB shall act on an application within 60 days of the submittal date, and shall either approve, approve with conditions, or deny the application. Appeal would be to City Council.

Background

Barracks Road Shopping Center was constructed in several phases primarily between c1957 and the early 1980s, with several outparcel buildings constructed after 2000.

The requested CoA will allow façade alterations at two locations within the shopping center. This is the initial phase of planned similar alterations at other locations. Staff is presenting this initial phase to the ERB so as to get approval for the enhancements proposed and for approval in-concept, such that later phases consistent with this concept can be reviewed and approved administratively.

The Phase 1 enhancements will modify the façades and sidewalks along an approximately 250-foot-long segment in the middle of the strip center (identified on the plans as *Main Street Façade*) and at the NE corner of an adjacent retail building (identified on the plans as *Brewery Façade*.)

Main Street Façade:

The overhanging façade [above several existing stores] will be removed, revealing the existing brick walls. The large outer, columns (at the curb) will be removed. The interior columns (at storefronts) will be replaced with metal and metal/wood columns, which will support flat metal canopies and pitched standing-seam metal roofs. Alterations at the sidewalk—the *plaza streetscape plan*--will incorporate areas for seating, planting beds, and art installations.

Note: There are four variations shown at the plaza streetscape--see last four sheets of the BCT Design Group submittal. All of the proposed elements in the options are appropriate. Staff recommends the ERB allow the applicant to decide which elements are used, provided at least one of the options is fully implemented.

Brewery Façade:

The overhanging façade and columns will be removed. The new façade will be faced with vertical, cement boards. Flat, suspended canopies will be installed over the two entries. Alterations at the sidewalk will incorporate areas for seating, planting beds, and art installations.

Standard of Review

In conducting review of an application, the ERB must apply the standards set forth within §5.2.8.D. of the City's Code of Development (below), which require consideration of certain features and factors in determining the appropriateness of the proposed construction. (Note: Signage shown is conceptual only. See recommended condition.)

D. Criteria for Review and Decision

Corridor Review will consider the following features and factors in determining the appropriateness of proposed construction, reconstruction, alteration, or restoration of buildings or structures pursuant to this Development Code:

1. Overall architectural design, form, and style of the subject building or structure;
2. Exterior architectural details and features of the subject building or structure;
3. Texture, materials, and color of materials proposed for use on the subject building or structure;
4. Design and arrangement of building and structures on the subject site, as long as the requirements of the underlying zoning district are met;
5. The extent to which the features and characteristics, are architecturally compatible or incompatible with similar features and characteristics of other buildings and structures having frontage on the same Entrance Corridor Streets as the subject property; and

6. Provisions of the Entrance Corridor District design guidelines. [Links below.]

[EC Chapter 1- Introduction](#)

[EC Chapter 2- Streetscape](#)

[EC Chapter 3 - Site](#)

[EC Chapter 4 - Buildings](#)

[EC Chapter 5 - Corridor maps and goals](#)

Summary and Staff Recommendation

The proposed enhancements are generally cosmetic and will not alter the use or arrangement other existing buildings.

The materials, elements, and color palette are similar to those used throughout Charlottesville. The design and components are vernacular, not following any particular architectural style or period, nor representing a corporate identify or branding.

The metal roofs reflect a typical design and materiality typical to Charlottesville. The wood elements reflect the existing trellises and other stained-wood features at the shopping center. By exposing the currently concealed brick walls, the elevations will be more consistent with traditional commercial buildings.

The alterations will not alter the height of the existing buildings; by removing the large, heavy façade and introducing landscape and streetscape elements will reduce the perceived massing and scale, resulting in a more open and inviting street level at the existing storefronts.

Lighting: The individual fixtures [list below] and lamping are not specified; however, the requirements of the City’s Development Code must be met. Relative to design, the fixtures as presented are appropriate.

- Gooseneck barn lights
- Can down lights.
- Accent lights on canopies.
- Hanging pedant lights.
- Sconces on columns.
- Catenary lights

Landscape/Streetscape: The proposed plants and trees are appropriate and a welcome addition to a sparsely landscaped streetscape. The addition of areas for seating and public art will enhance the pedestrian experience.

Recommendation: The project meets the standards and guidelines for a Certificate of Appropriateness in this Entrance Corridor. Staff recommends approval of the requested CoA with the following conditions, which are also noted in the draft motion for approval:

- All commercial signage must comply with the 2008 Comprehensive Signage Plan for the Barracks Road Shopping Center.* The signage shown in the applicant’s submittal are for context only and this CoA does not constitute review or approval of any signage.
(* Revisions or updates to the 2008 Comprehensive Signage Plan must comply with requirements for an *Alternate Sign Plan*, under §4.11.8. of the City’s Code of Development.)
- The owner will address any reasonable public complaints about the glare or brightness of

exterior lighting by either dimming the lamps or replacing the lamps/fixtures.

- The applicant can decide which elements are used for the plaza streetscape, provided at least one of the four options is fully implemented.
- The CoA approves the design in-concept, allowing for administrative approval(s) for later alterations at the shopping center that are consistent with this approved CoA.

Public Comments Received

No comments received.

Suggested Motion

Having considered the standards set forth within the City Code and the Entrance Corridor Design Guidelines, I move to find that the proposed façade enhancements at the Barracks Road Shopping Center are consistent with the Guidelines and compatible with the goals of this Entrance Corridor, and that the ERB approves the Certificate of Appropriateness application as submitted with the following conditions:

- All commercial signage must comply with the 2008 Comprehensive Signage Plan for the Barracks Road Shopping Center. The signage shown in the applicant's submittal are for context only and this CoA does not constitute review or approval of any signage.
- The owner will address any reasonable public complaints about the glare or brightness of exterior lighting by either dimming the lamps or replacing the lamps/fixtures.
- The applicant can decide which elements are used for the plaza streetscape, provided at least one of the four options is fully implemented.
- The CoA approves the design in-concept, allowing for administrative approval(s) for later alterations at the shopping center that are consistent with this approved CoA.

Alternate Motions

Deferral: I move to defer action on—or, to accept the applicant's request to defer action on--the Entrance Corridor Certificate of Appropriateness request for the proposed façade enhancements at the Barracks Road Shopping Center.

Denial: Having considered the standards set forth within the City Code and the Entrance Corridor Design Guidelines, I move to find that the proposed façade enhancements at the Barracks Road Shopping Center are not consistent with the Guidelines and is not compatible with the goals of this Entrance Corridor, and for the following reasons the ERB denies the Certificate of Appropriateness application as submitted: [...].

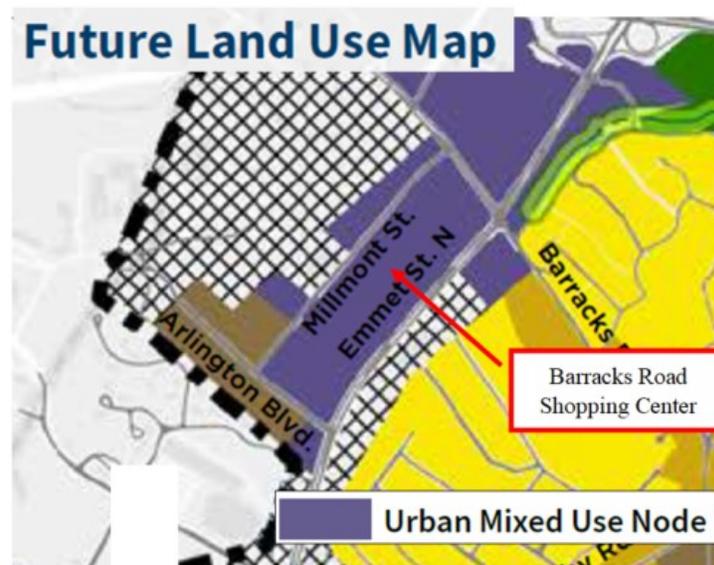
Attachments

- A. BCT Design Group submittal *Barracks Road Shopping Center Schematic Design Package – Phase 1*, dated September 16, 2024, 50 sheets.
- B. Studio 39 Landscape Plan Barracks Road Shopping Center Sidewalk Improvements, dated 10.30.2024, sheet L5.01.

Appendix:

From the Comprehensive Plan: Mixed Use Nodes and Corridors

- Description. Urban Mixed Use Node: Urban mixed use districts that support community housing, employment, and commercial development.
- Form. Create new, complete districts comprised of a walkable grid of streets, civic amenity spaces, and an intensive mix of land uses. Respond to existing residential, environmental, historic context, and recommendations provided in previously-adopted Small Area Plans.
- Height. Up to 10 stories
- Use and Affordability. Commercial, employment, residential. A mix of uses in the same building (“vertical mixed use”) is encouraged. Include an inclusionary zoning mechanism to support housing affordability.

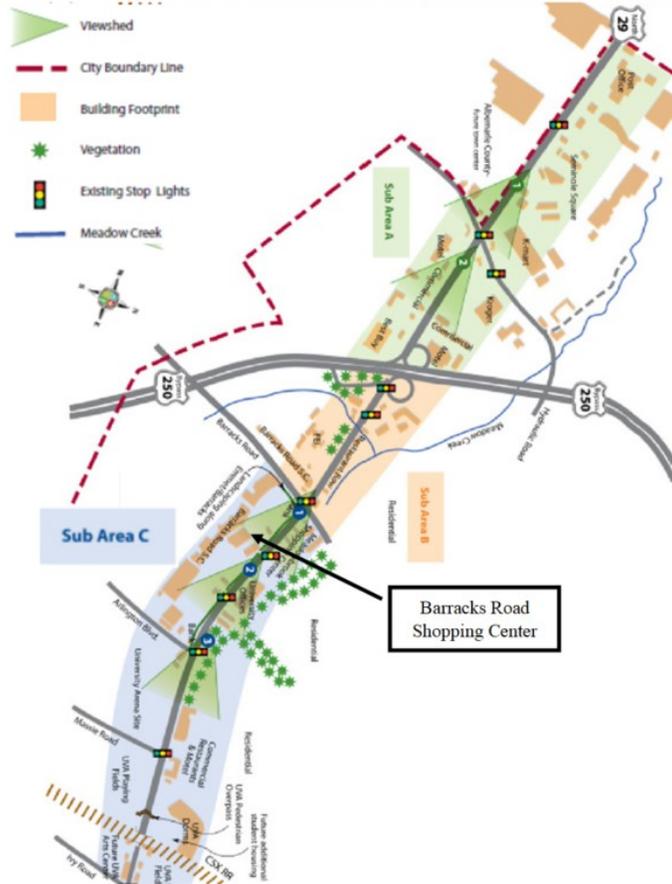


From Section 5 of the EC Design Guidelines (Individual Corridors):

Corridor 1: Route 29 North, Sub-Area C: Barracks Road to Ivy Road

- Vision: Emmet Street has the potential to become more of an urban boulevard, with lively pedestrian activity and a greater mix and integration of uses. Both Barracks Road Shopping Center and Meadowbrook Shopping Center may redevelop with retail, office, hotels, housing, and structured parking. The attractive magnolia street trees along Emmet Street should be retained and new landscaping added to the streetscape as redevelopment occurs. There are opportunities for unified landscaping along the corridor that would help enhance the pedestrian connection. If possible, character-defining architecture should be incorporated into redevelopment plans. As the University redevelops its property on the southern end of the sub-area, including the University Arts Center, there may be opportunities to include student housing and community-related facilities in mixed-use projects that front on Emmet Street.

CORRIDOR 1: ROUTE 29 NORTH FROM THE CORPORATE LIMITS TO IVY ROAD



Corridor 3: Barracks Road from the corporate limits to Meadowbrook Road

- Vision:** There is some potential for redevelopment of the strip retail and the shopping centers. Pedestrian activity that is generated from residential areas both east and west on Barracks Road should be encouraged. The attractive magnolia street trees along Barracks Road should be retained and new landscaping added to the streetscape as redevelopment occurs. There are opportunities for unified landscaping along the corridor that would help enhance the pedestrian connection and better define an entry gateway at the western end of the corridor.

CORRIDOR 3: BARRACKS ROAD FROM THE CORPORATE LIMITS TO MEADOWBROOK ROAD





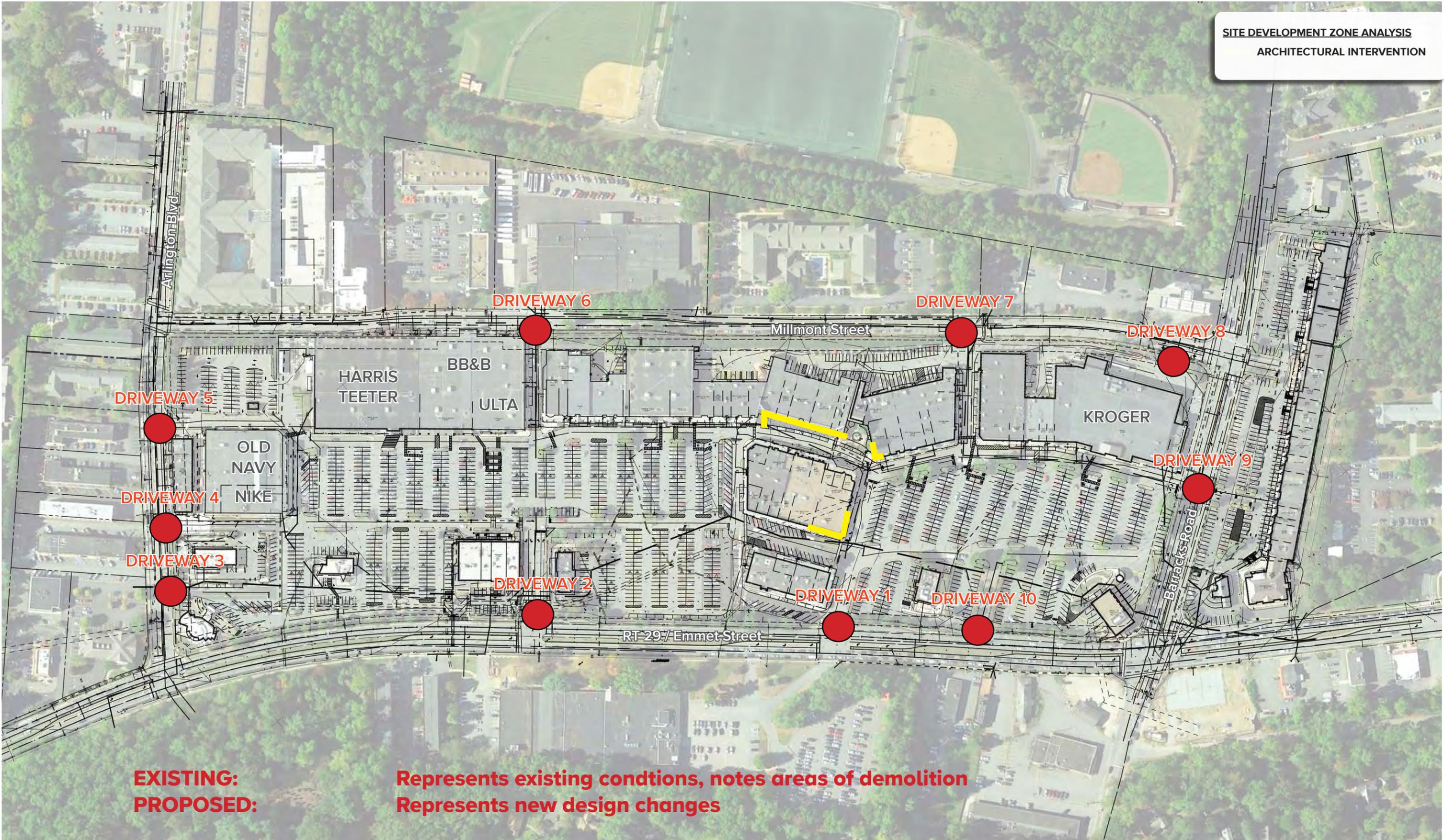
BARRACKS ROAD SHOPPING CENTER

Schematic Design Package - Phase 1

SEPTEMBER 16, 2024

prepared for:





EXISTING: Represents existing conditions, notes areas of demolition
PROPOSED: Represents new design changes

Site Analysis - Facade Enhancement Zones & Entries

SITE DEVELOPMENT ZONE ANALYSIS

PRIORITY CANOPY REMOVAL & FACADE RENOVATION (MOST INVOLVED)



Architectural Enhancements - Facade Enhancement Zones



Existing Aerial View



Proposed Aerial View



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BARRACKS ROAD SHOPPING CENTER

Schematic Design Package - Phase 1
September 16, 2024



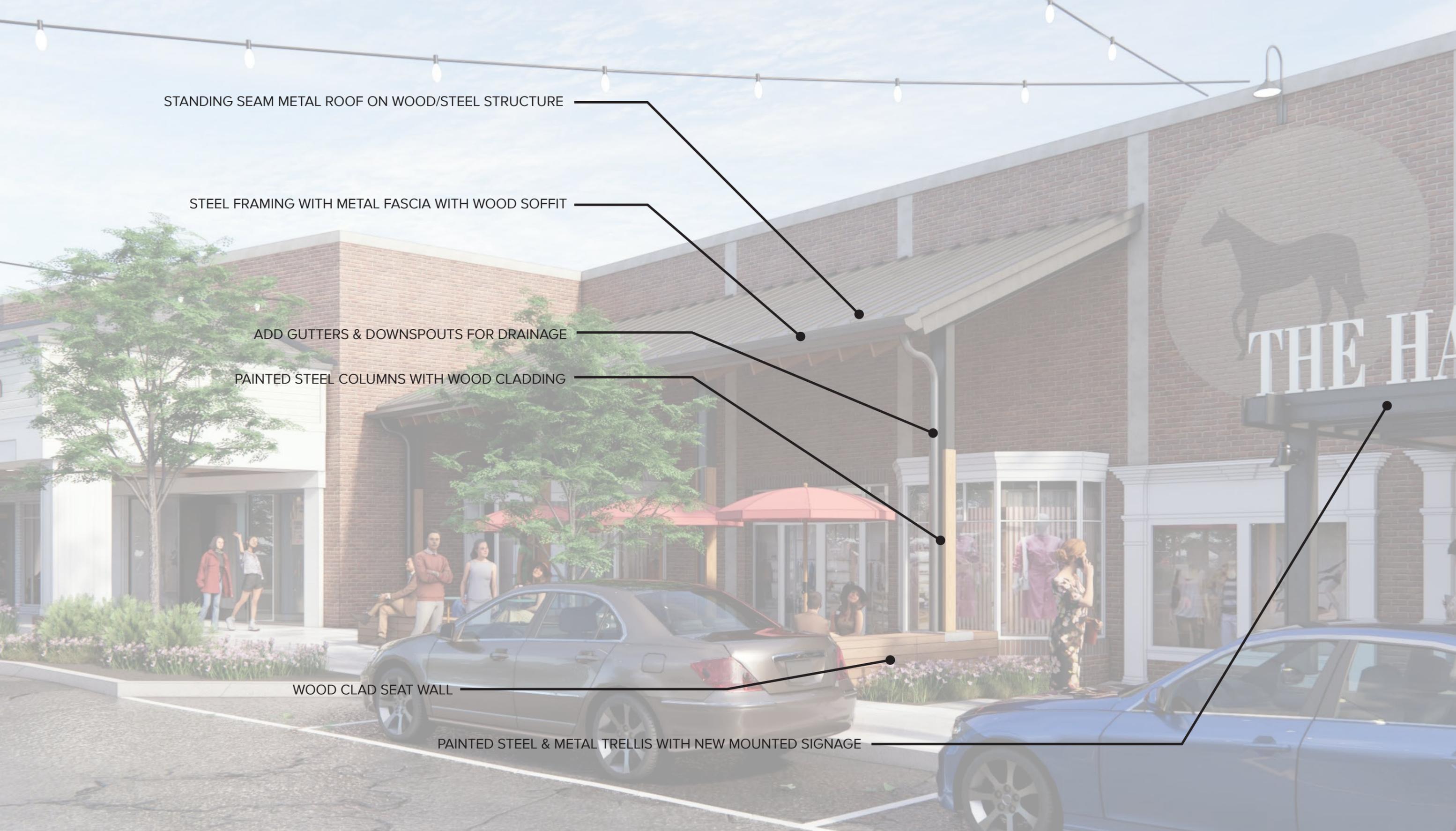
DEMOLISH ENTIRE CANOPY INCLUDING INNER AND OUTER COLUMNS



Feature Main Street Restaurant Corner View 1 - Existing



Feature Main Street Restaurant Corner View 1 - Proposed Design



STANDING SEAM METAL ROOF ON WOOD/STEEL STRUCTURE

STEEL FRAMING WITH METAL FASCIA WITH WOOD SOFFIT

ADD GUTTERS & DOWNSPOUTS FOR DRAINAGE

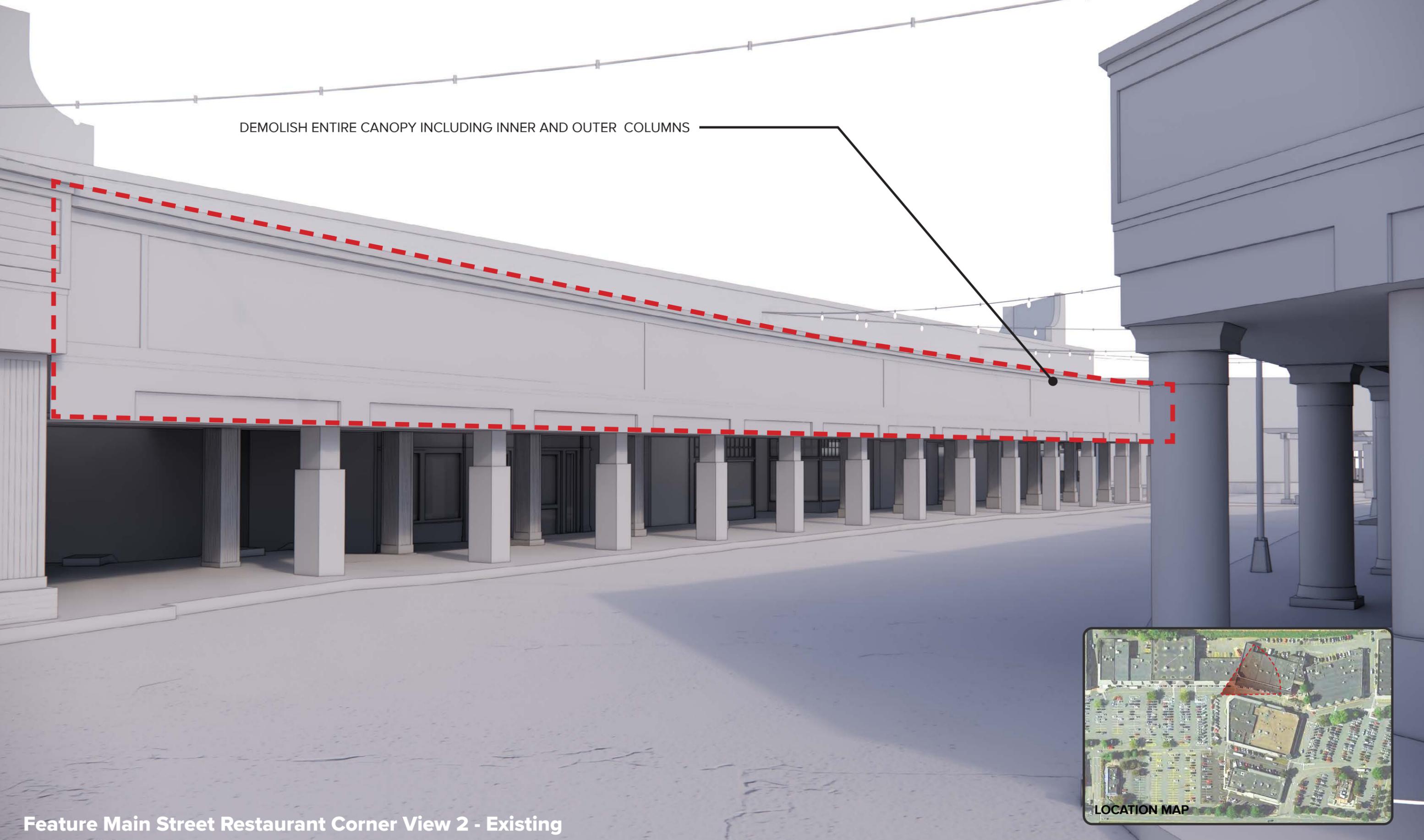
PAINTED STEEL COLUMNS WITH WOOD CLADDING

WOOD CLAD SEAT WALL

PAINTED STEEL & METAL TRELLIS WITH NEW MOUNTED SIGNAGE

Feature Main Street Restaurant Corner View 1 - Proposed Design (Notes)

DEMOLISH ENTIRE CANOPY INCLUDING INNER AND OUTER COLUMNS



Feature Main Street Restaurant Corner View 2 - Existing



Feature Main Street Restaurant Corner View 2 - Proposed Design



STANDING SEAM METAL ROOF ON WOOD/STEEL STRUCTURE

STEEL FRAMING WITH METAL FASCIA WITH WOOD SOFFIT

GUTTERS & DOWNSPOUTS FOR DRAINAGE

PAINTED STEEL COLUMNS WITH WOOD CLADDING

WOOD CLAD SEAT WALL

Feature Main Street Restaurant Corner View 2 - Proposed Design (Notes)



Main Street View 2 - Existing





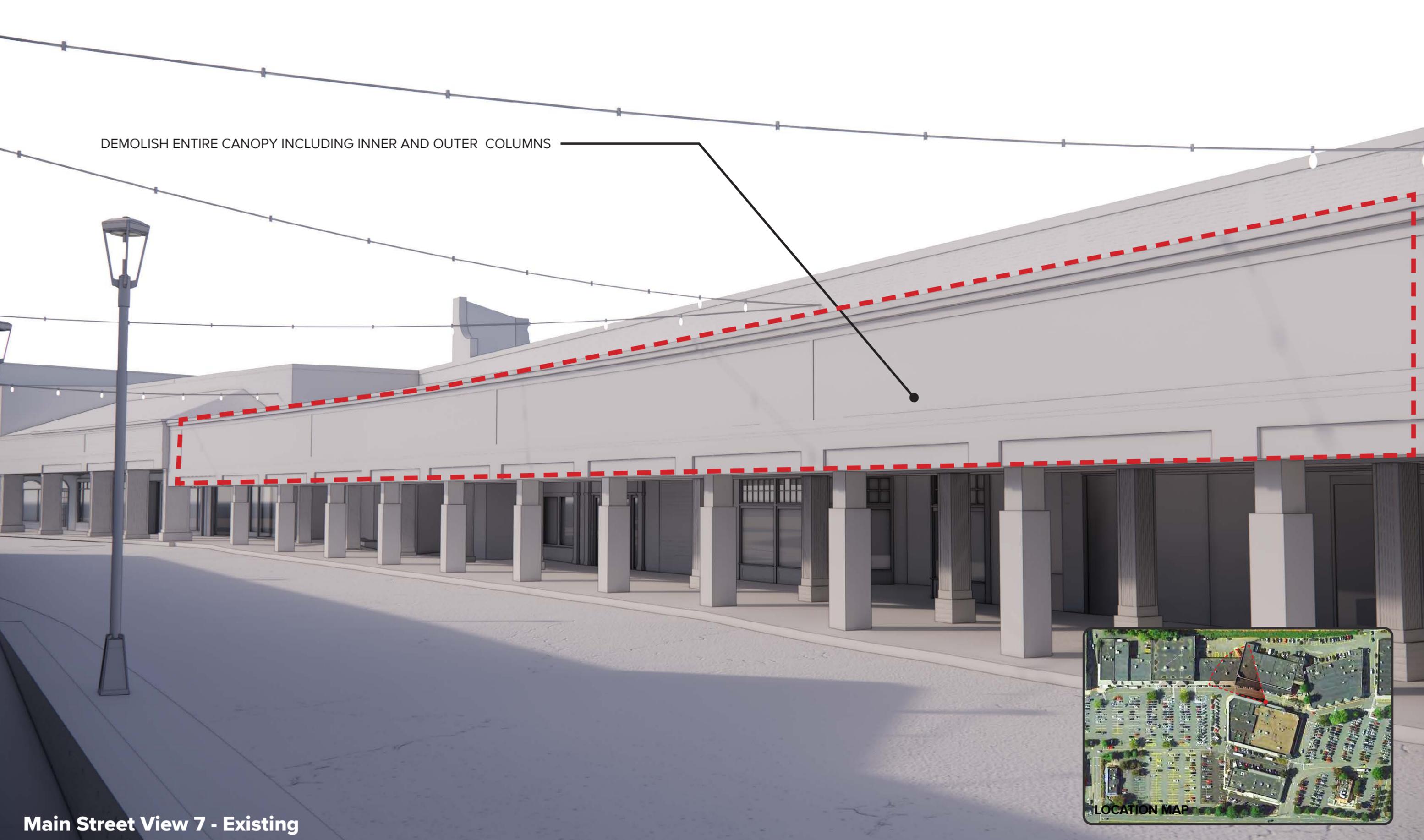
Main Street View 2- Proposed



EXISTING TRELLIS TO REMAIN
BRICK HALF WALL SEATING ZONE TO MATCH EXISTING BRICK
(SEE L.ARCH)

Main Street View 2- Proposed

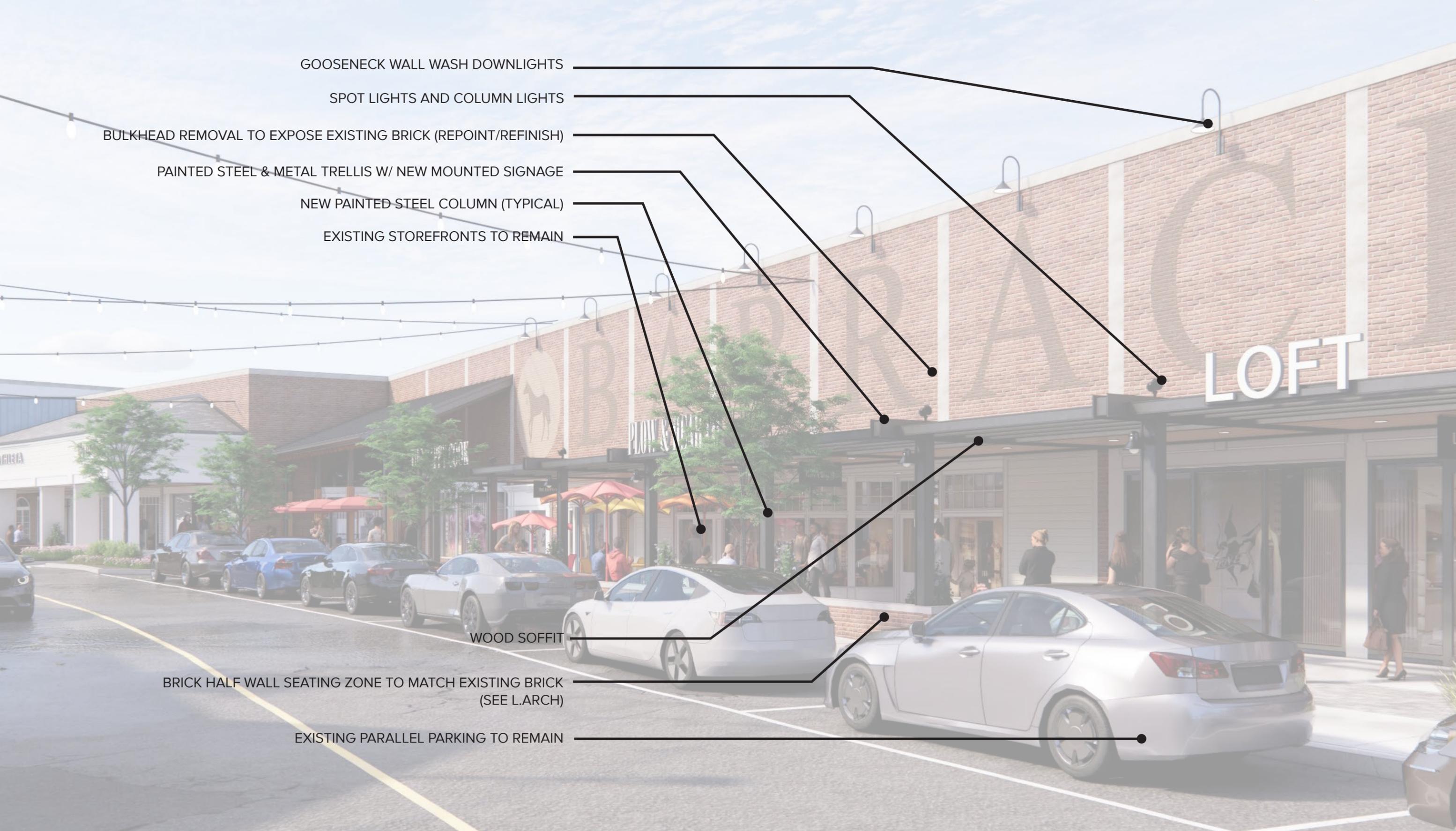
DEMOLISH ENTIRE CANOPY INCLUDING INNER AND OUTER COLUMNS



Main Street View 7 - Existing



Main Street View 7 - Proposed



GOOSENECK WALL WASH DOWNLIGHTS

SPOT LIGHTS AND COLUMN LIGHTS

BULKHEAD REMOVAL TO EXPOSE EXISTING BRICK (REPOINT/REFINISH)

PAINTED STEEL & METAL TRELLIS W/ NEW MOUNTED SIGNAGE

NEW PAINTED STEEL COLUMN (TYPICAL)

EXISTING STOREFRONTS TO REMAIN

WOOD SOFFIT

BRICK HALF WALL SEATING ZONE TO MATCH EXISTING BRICK (SEE L.A.RCH)

EXISTING PARALLEL PARKING TO REMAIN

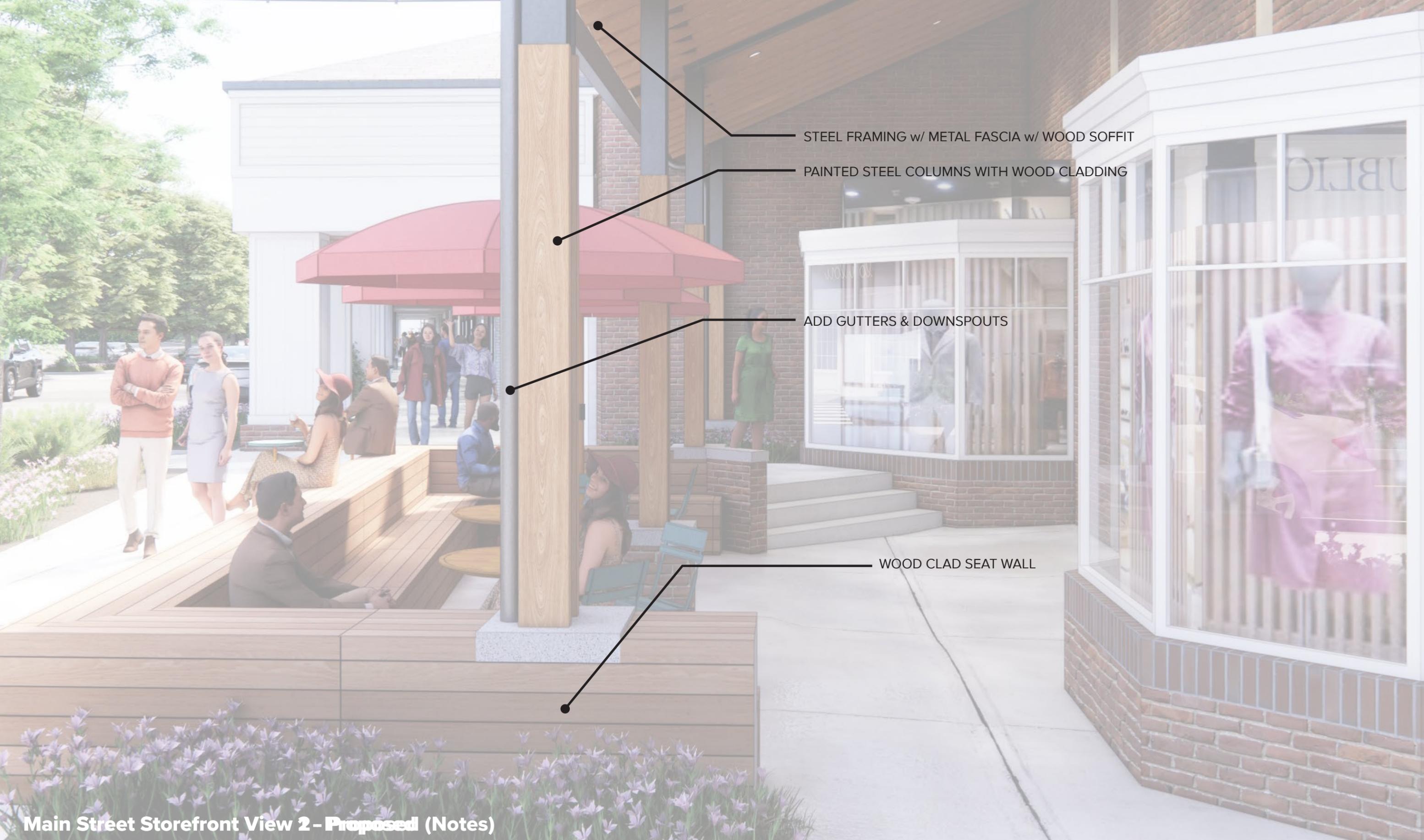
Main Street View 7 - Proposed (Notes)



Main Street Storefront View 2 - Existing



Main Street Storefront View 2 - Proposed



STEEL FRAMING w/ METAL FASCIA w/ WOOD SOFFIT

PAINTED STEEL COLUMNS WITH WOOD CLADDING

ADD GUTTERS & DOWNSPOUTS

WOOD CLAD SEAT WALL

Main Street Storefront View 2 - Proposed (Notes)



Main Street View 1 - Existing



Main Street View 1 - Proposed



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BARRACKS ROAD SHOPPING CENTER

Schematic Design Package - Phase 1

September 16, 2024

PROPOSED





Main Street View 1 - Proposed



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BARRACKS ROAD SHOPPING CENTER

Schematic Design Package - Phase 1

September 16, 2024

PROPOSED





Main Street View 4 - Existing



Main Street View 4 - Proposed



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BARRACKS ROAD SHOPPING CENTER

Schematic Design Package - Phase 1
September 16, 2024

PROPOSED





STANDING SEAM METAL ROOF

NATURAL WOOD TONGUE & GROOVE SOFFIT

EXPOSED PAINTED STEEL TRUSSES

EXISTING TRELLIS TO REMAIN

LOFT

SOMAs

GUTTER & DOWNSPOUTS FOR DRAINAGE

GOOSENECK WALL WASH DOWNLIGHTS

SEE SIGNAGE PACKAGE FOR HANGING TENANT SIGNAGE

BULKHEAD REMOVAL TO EXPOSE EXISTING BRICK (REPAINT/REFINISH)

PAINTED SIGN, SEE SIGNAGE PACKAGE FOR NEW SUPER GRAPHIC

EXISTING STOREFRONTS TO REMAIN

PAINTED STEEL & ALUMINUM TRELLIS w/ NEW MOUNTED SIGNAGE

NEW PAINTED STEEL COLUMN (TYPICAL)

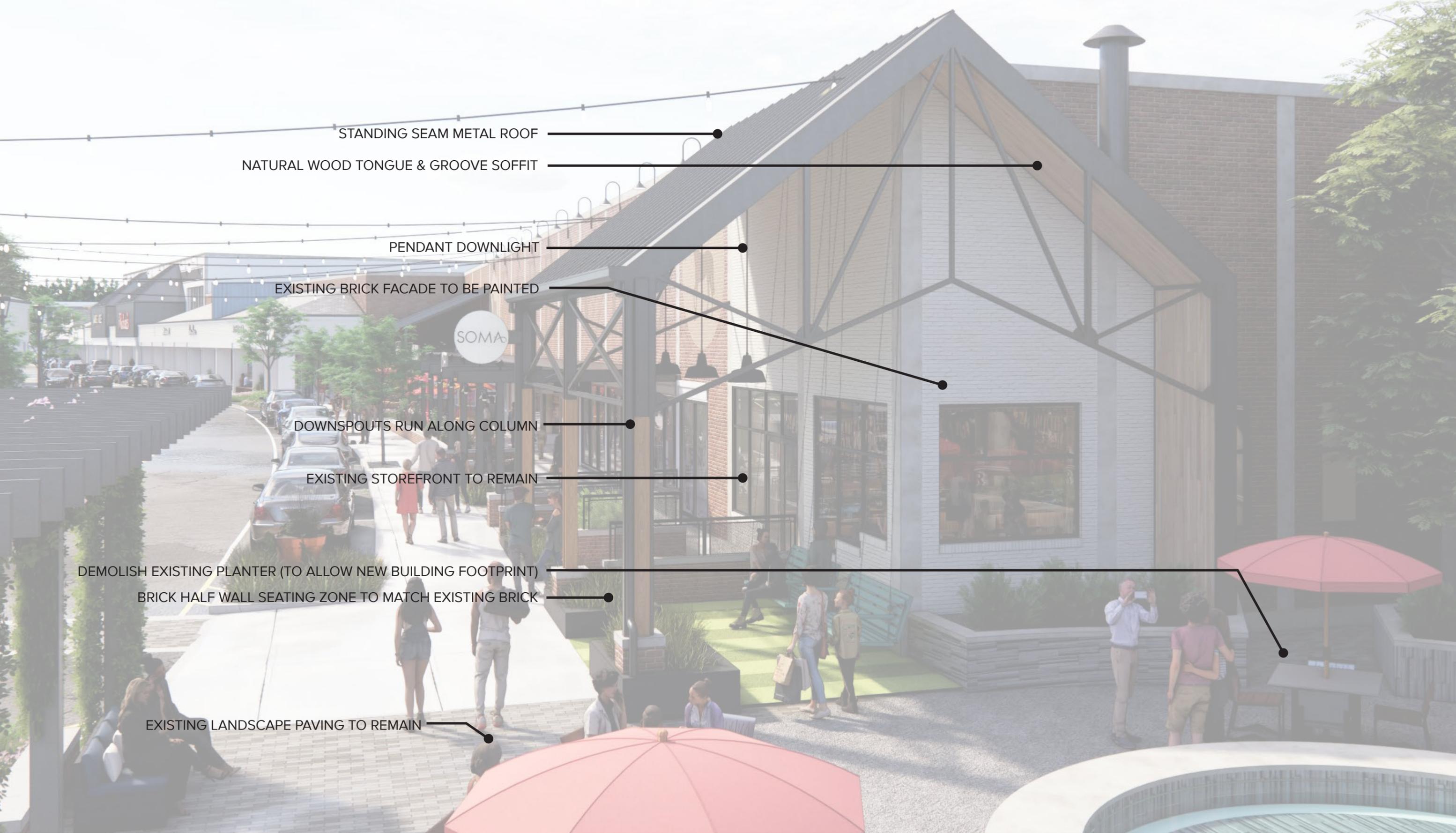
Main Street View 4 - Proposed (Notes)



Main Street View 5 - Existing



Main Street View 5 - Proposed



STANDING SEAM METAL ROOF

NATURAL WOOD TONGUE & GROOVE SOFFIT

PENDANT DOWNLIGHT

EXISTING BRICK FACADE TO BE PAINTED

DOWNSPOUTS RUN ALONG COLUMN

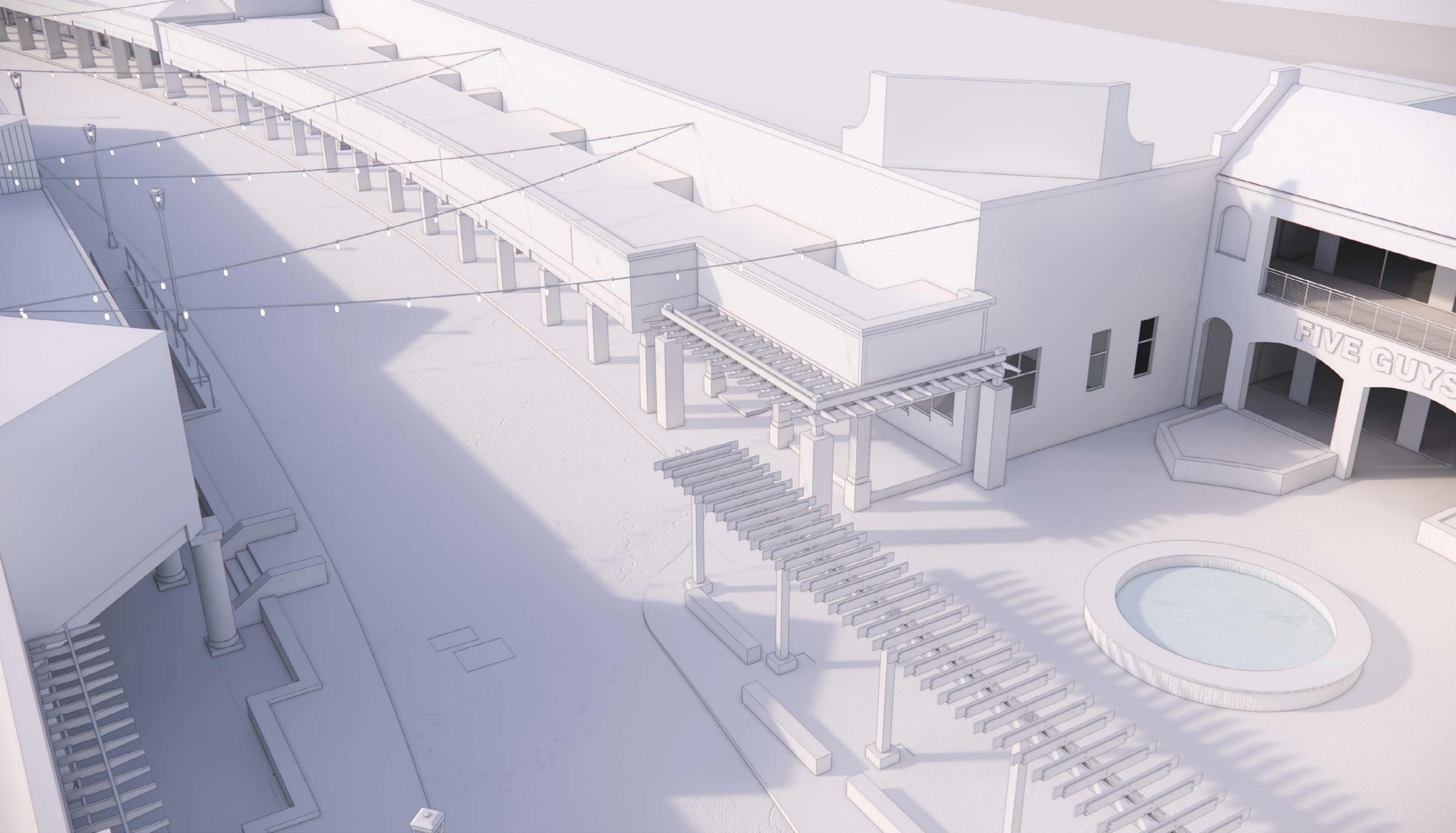
EXISTING STOREFRONT TO REMAIN

DEMOLISH EXISTING PLANTER (TO ALLOW NEW BUILDING FOOTPRINT)

BRICK HALF WALL SEATING ZONE TO MATCH EXISTING BRICK

EXISTING LANDSCAPE PAVING TO REMAIN

Main Street View 5 - Proposed (Notes)



30. MAIN STREET VIEW 3 | EXISTING



31. MAIN STREET VIEW 3 | PROPOSED



32. MAIN STREET VIEW 5 | EXISTING



33. MAIN STREET VIEW 5 | UPDATED DESIGN OPT 1



34. MAIN STREET VIEW 6 | EXISTING



35. MAIN STREET VIEW 6 | UPDATED DESIGN



GOOSENECK WALL WASH DOWNLIGHTS

EXISTING FACADE TO BE CLEANED & REPAIRED AS REQ'D.

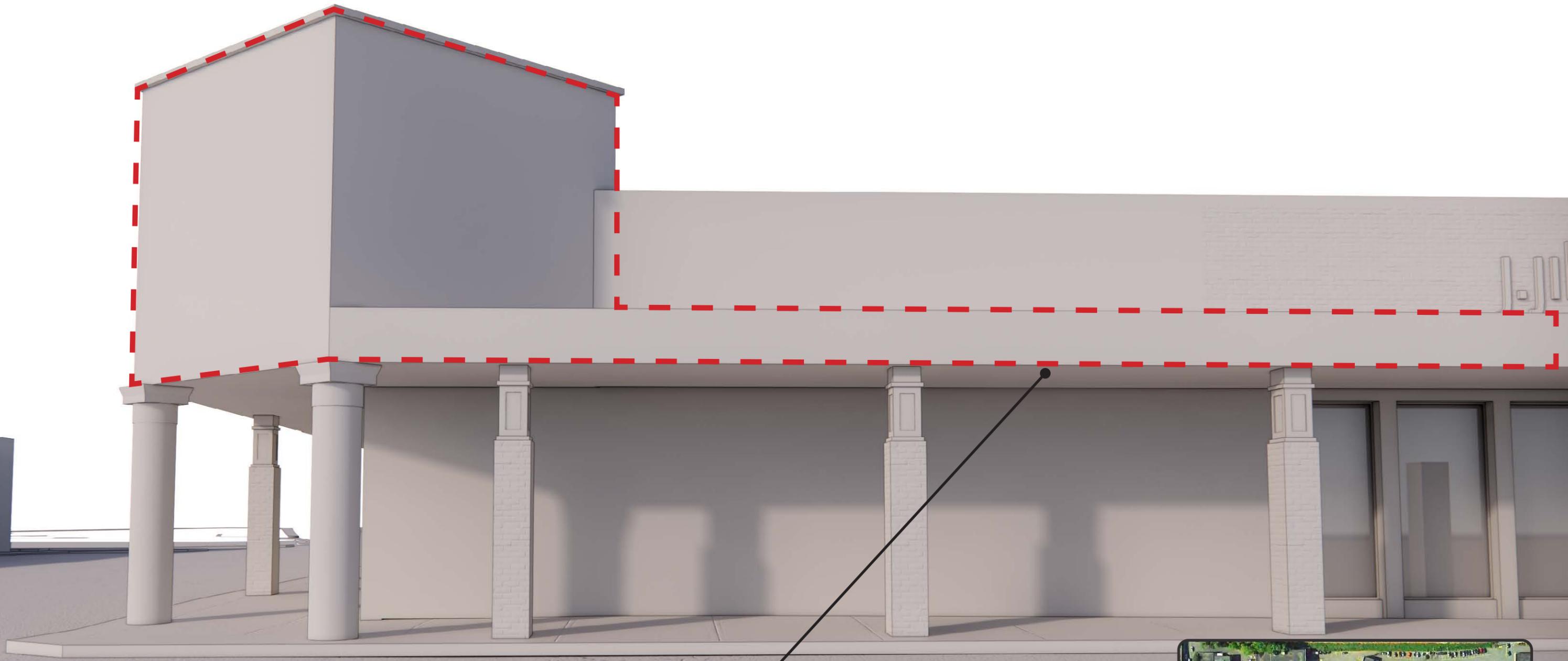
PAINT EXISTING SIGN BAND

PAINT EXISTING FASCIA AND COLUMN CAPS

EXISTING TRELLIS STRUCTURE TO BE MODIFIED. REMOVE TOP PORTION OF THE WOOD.

EXISTING BRICK @ TRELLIS STRUCTURE TO BE REMOVED. STL. COLUMNS AND BEAMS TO BE PAINTED

36. MAIN STREET VIEW 6 | UPDATED DESIGN



DEMOLISH ENTIRE CANOPY INCLUDING OUTER COLUMNS
(SEE NEW WORK)



Brewery Facade View 1 - Existing



FACADE RENOVATION

NOT IN SCOPE

WELCOME EVERYBODY

Brewery Facade View 1 - Proposed



GOOSE NECK WALL SCONCES

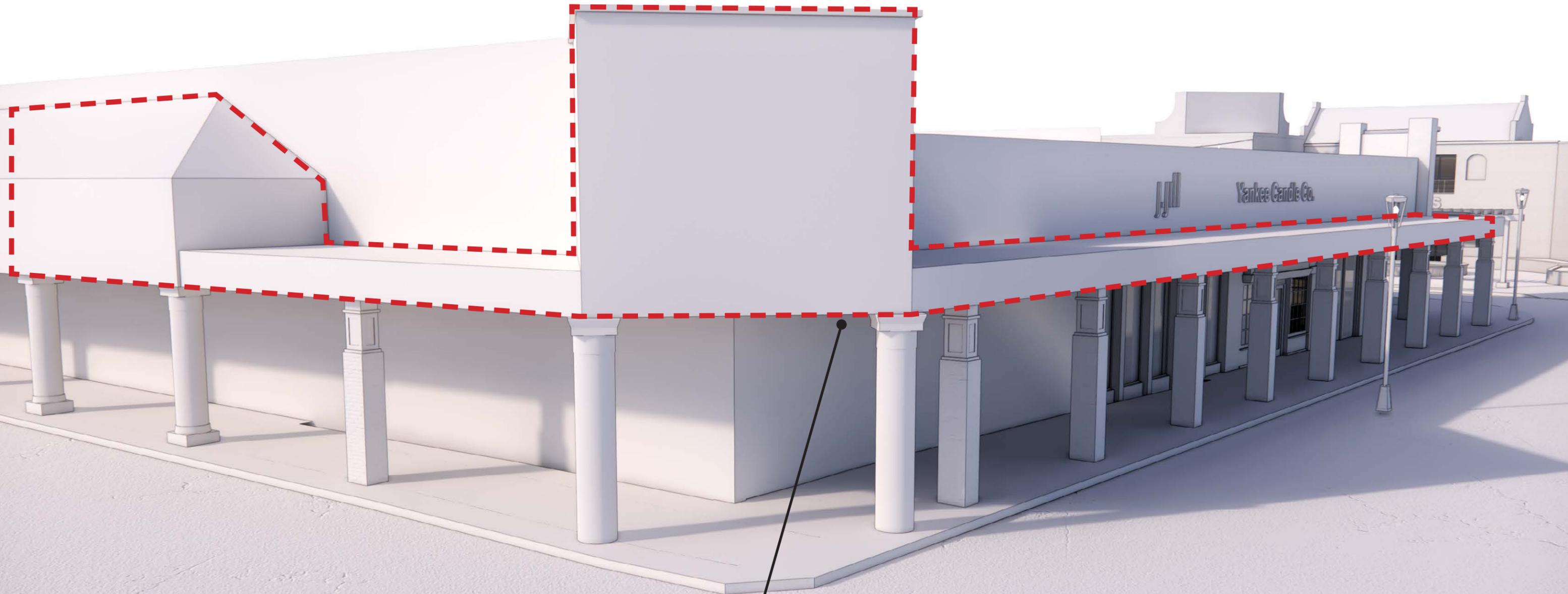
VERTICAL FIBER CEMENT PANELS

METAL CANOPY & WOOD SOFFIT

WELCOME EVERYBODY

PAINTED EXISTING FACADE AND WALL MURAL
(SEE GRAPHICS PACKAGE)

Brewery Facade View 1 - Proposed (Notes)



DEMOLISH ENTIRE CANOPY INCLUDING OUTER COLUMNS
(SEE NEW WORK AND ELEVATIONS FOR EXTENT OF CANOPY DEMO)

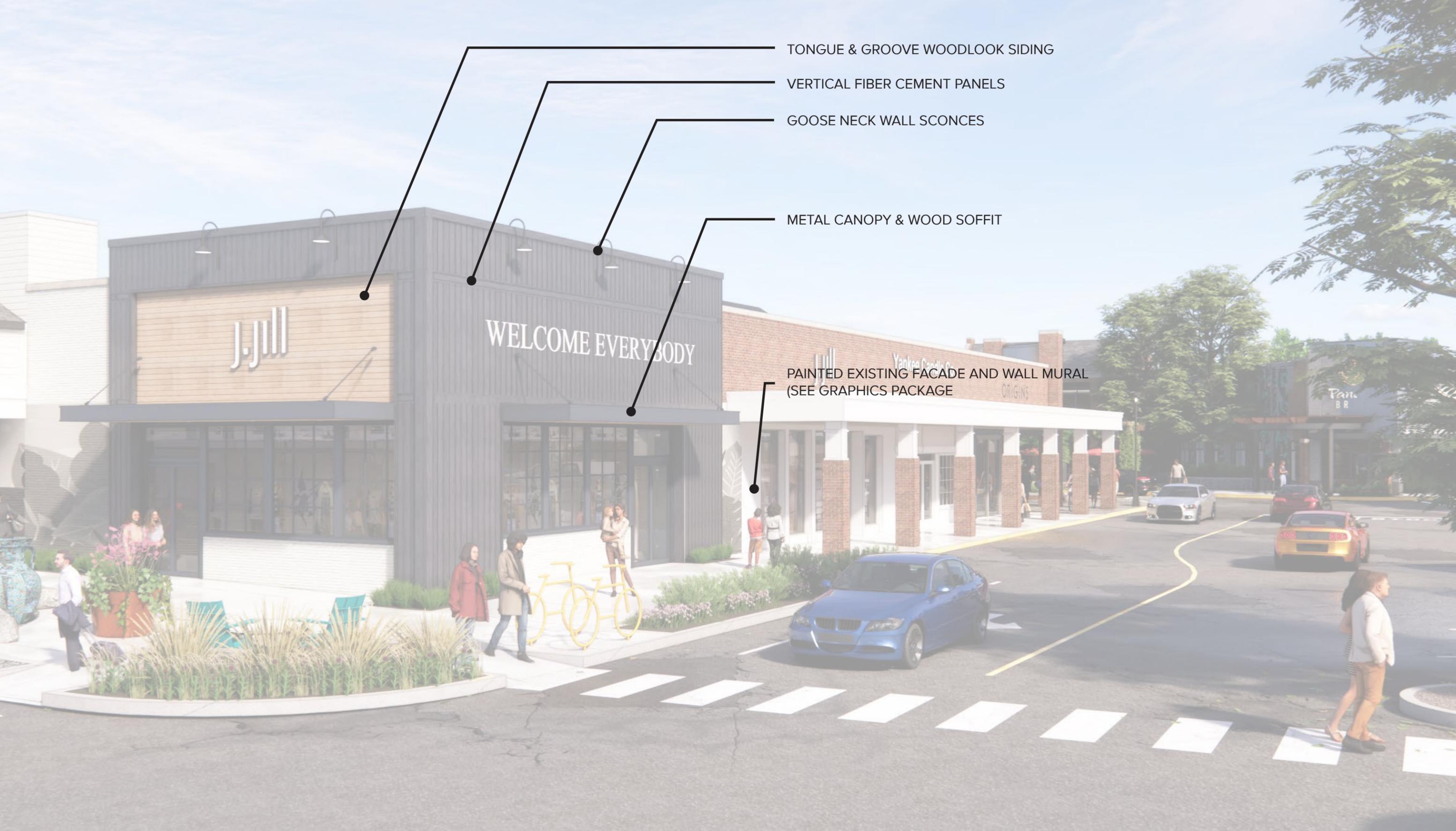


Brewery Facade View 2 - Existing



← FACADE RENOVATION | NOT IN SCOPE →

Brewery Facade View 2 - Proposed - Opt2



TONGUE & GROOVE WOODLOOK SIDING

VERTICAL FIBER CEMENT PANELS

GOOSE NECK WALL SCONCES

METAL CANOPY & WOOD SOFFIT

PAINTED EXISTING FACADE AND WALL MURAL
(SEE GRAPHICS PACKAGE)

Brewery Facade View 2 - Proposed (Notes)



43. DINING PARK VIEW 1 | EXISTING

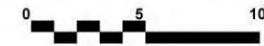


44. DINING PARK VIEW 1 | UPDATED DESIGN



Main Street Facade View 1

1" = 20'-0"



Main Street Facade View 2

1" = 20'-0"

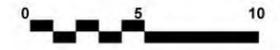


45. MAIN STREET ELEVATIONS



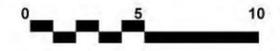
Brewery Facade View 1

1" = 20'-0"

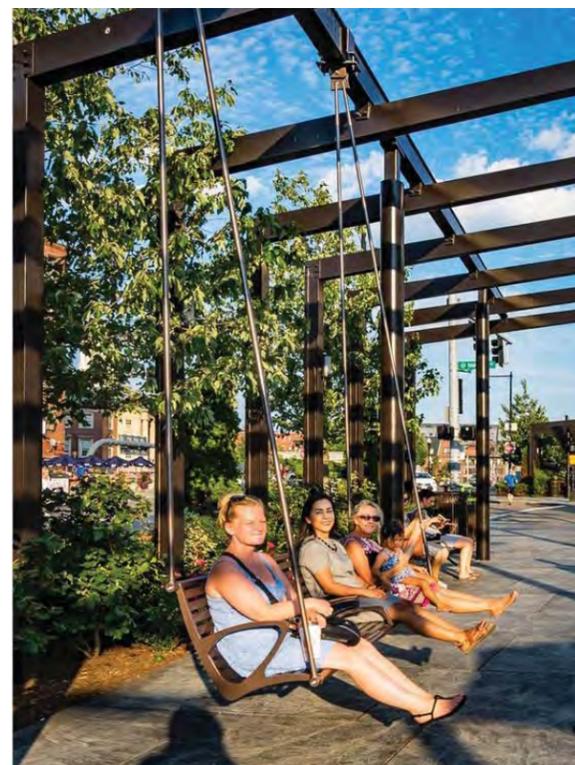
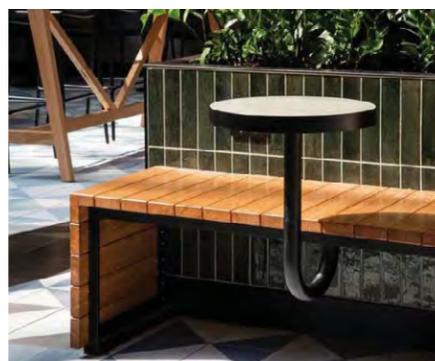
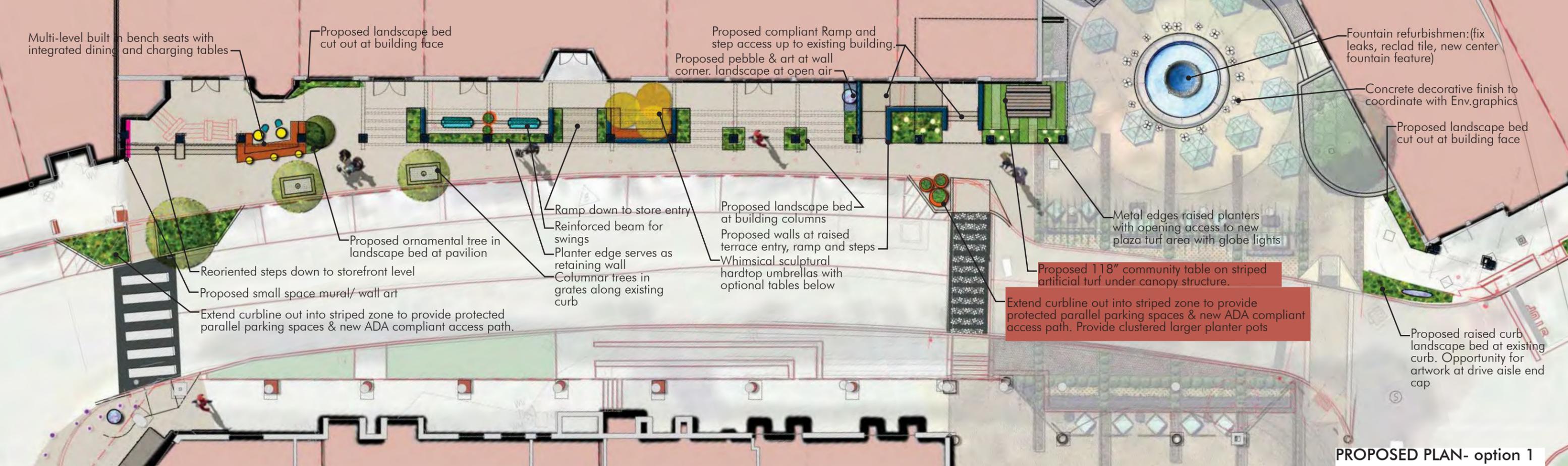


Brewery Facade View 2

1" = 20'-0"



46. BREWERY ELEVATIONS



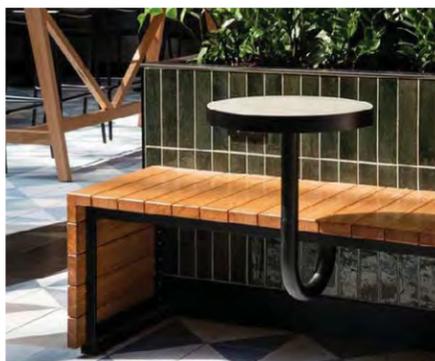
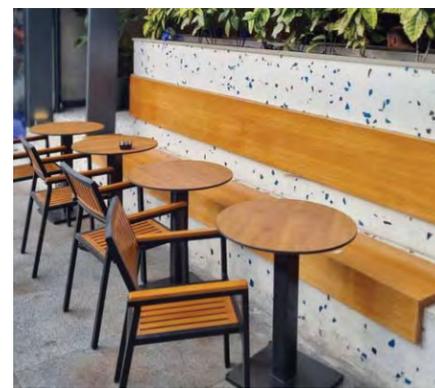
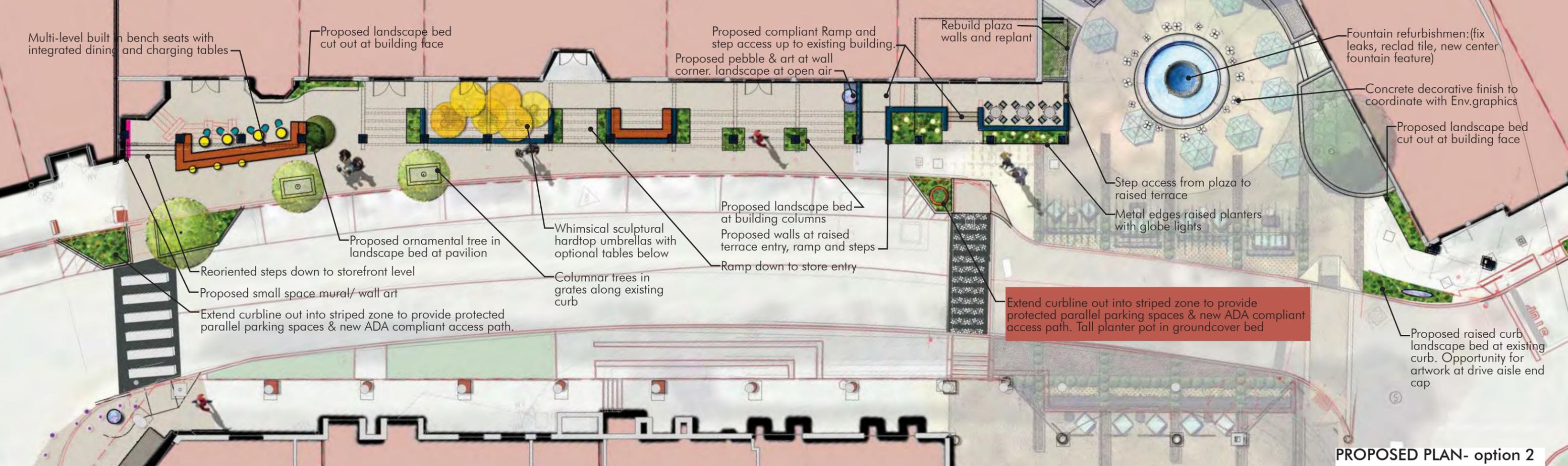
PROPOSED PLAZA STREETSCAPE PLAN & IMAGES

Barracks Road Shopping Center | Charlottesville, VA
Federal Realty Investment Trust



STUDIO39

21037 | 10 SEPTEMBER 2023



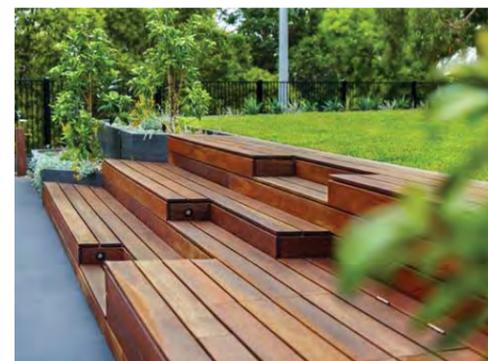
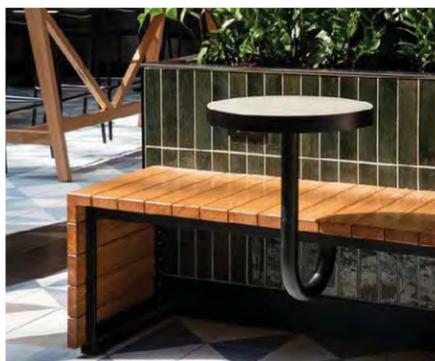
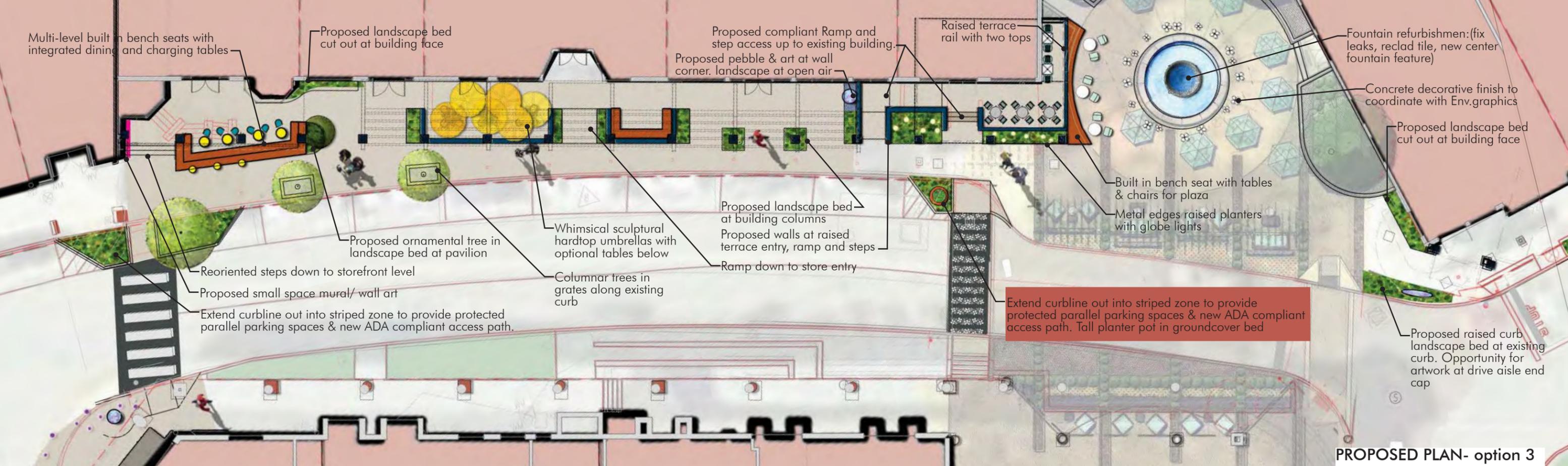
PROPOSED PLAZA STREETSCAPE PLAN & IMAGES-2

Barracks Road Shopping Center | Charlottesville, VA
Federal Realty Investment Trust



STUDIO39

21037 | 19 august 2023



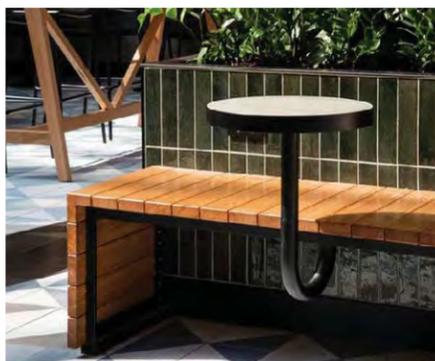
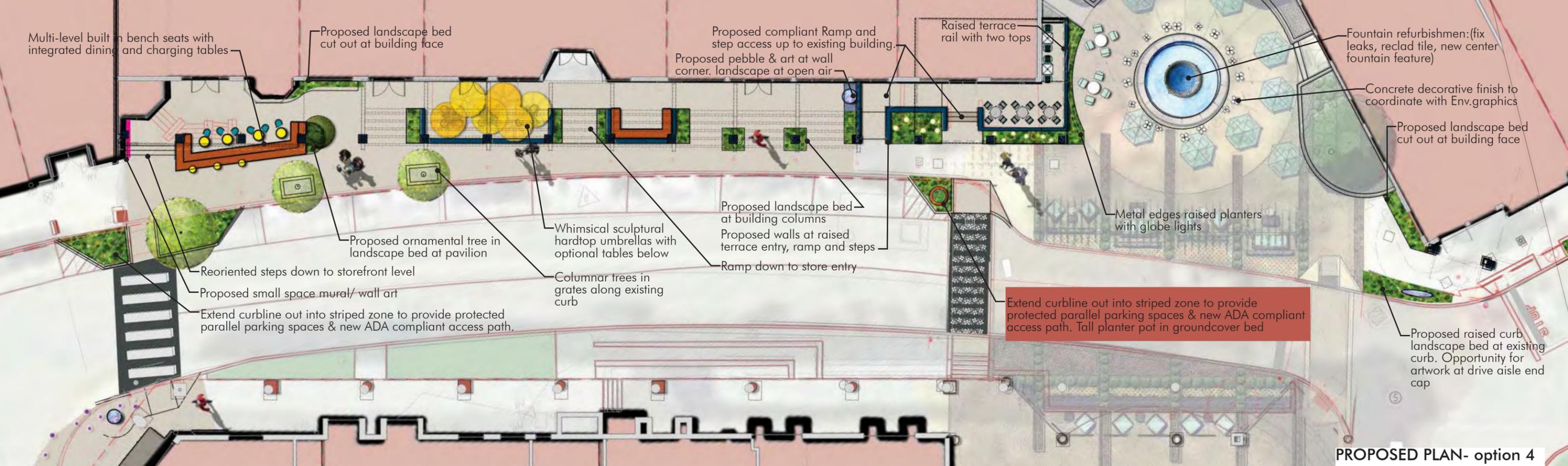
PROPOSED PLAZA STREETSCAPE PLAN & IMAGES-3

Barracks Road Shopping Center | Charlottesville, VA
Federal Realty Investment Trust



STUDIO39

21037 | 19 august 2023



PROPOSED PLAZA STREETSCAPE PLAN & IMAGES-4

Barracks Road Shopping Center | Charlottesville, VA
Federal Realty Investment Trust



STUDIO39

21037 | 19 august 2023

Follow-up Planning Commission Work Session on November 26th

1. I don't see any funds in here for the sort of "Urgent Transportation Improvements" done in the wake of Mamawa Simai's death, and which BPAC is now identifying additional locations for. I understand some amount will be appropriated from surplus funds for that program. Do we know the amount of that, is that sufficient to fund all planned activities to make roads safer in FY26, and is there an identified source of funds in future years?

This is not a CIP item, and the City Manager will advise the Council of his recommendation at the January 6th Council meeting for funding an identified list of projects.

2. I see we're still adding funds to the Solar PV program, which has yet to have a single panel placed to my knowledge. Is there any progress on planning for in-house solar deployments or a Power Purchase Agreement that would allow us to place solar panels at no cost to the city, like many other localities including [Albemarle](#) are now doing?

We are pleased to share that we are moving forward with solar on both school and City buildings.

As we have shared before, we have been working to establish a cadence of deploying solar projects on new roofs (eliminating the need to remove those systems when roof replacement projects happen).

Now, we have the following in process:

By-Pass Fire Station (currently under construction): solar system funded by the CitySolar program; anticipating installation in Spring 2025

CATEC (roof replacement completed in 2022): solar system planned for installation in Summer 2025 (structural analysis being completed). To be funded by CitySolar and the Climate Action Initiative Fund.

NOTE: CATEC solar was part of an unsuccessful 2024 federal grant application

CHS and Charlottesville (Buford) Middle School: Both schools will have new roofs completed in the next year; We will continue to explore the Power Purchase Agreement option for the possibility of funding solar additions to these schools: summer 2026 (CHS) and summer 2027 (CMS).

NOTE: CHS solar was part of an unsuccessful 2023 federal grant application.

NOTE: Charlottesville (Buford) Middle School solar is part of a recently submitted federal grant application. If successful, this would be the strategy to fund the project.

3. What is the status of the Traffic Signal Replacement Program? We were told it was extraordinarily urgent when funds were first allocated, but it looks like only \$818k has been expended, and \$4.6m remains in that account prior to the proposed \$250k allocation (with large amounts in future years)?

We have 21 intersections currently prioritized for replacement and upgrade, which are broken up into 4 phases. We recently received 30% plans for our Phase 1 intersections, identified in the table below. A procurement package for the upright and mast arm material is being worked on currently with Procurement and should be posted for bid by the New Year. Estimated costs for the Phase 1 pole material is approximately \$500,000. When designs are finalized for Phase 1, we

will issue a bid package for installation and construction, with current estimates putting the total construction costs at approximately \$ 2 million. Once we get bid results back from our Phase 1 intersections, we will have a much better idea about real costs moving forward throughout the remaining programmed work, as well as getting a cadence of what's realistic to complete in a year.

Intersection	Phase
Water/2nd SE	1
Ridge/Main	1
Cherry/9th	1
Rugby/Preston	1
Rugby/Rugby	1
Rugby/Barracks	1
Route 250/Fire Station	1
Market/7th	2
Market/10th	2
Market/4th	2
Preston/10th	2
Grady/10th	2
JPA/Lee	3
JPA/Brandon	3
Emmet/JPA	3
JPA/Maury	3
Preston/Rose Hill	3
Ridge/Harris Rd	4
Route 250/High	4
Rugby/Grady	4
Monticello/Carlton	4

4. I don't see anything here for the proposed zero-emission bus pilots, either for EV infrastructure or a hydrogen plant. Are those on pause, or will funds come from other sources?

The City recently received grant funds to pilot 2 EV School Buses. The buses have been ordered and we are beginning work to install the necessary charging infrastructure. These expenses are being captured in the Grants Fund and therefore are not part of the CIP. Additionally, CAT/Transit has secured \$2.2 million in federal funding to begin the infrastructure planning and design process. CAT/Transit is scheduled to begin the infrastructure planning phase in January 2025.

5. Have any more details been provided on Friendship Court Phase 4? I don't understand why we're allocating specific amounts to future projects that don't even have a conceptual design yet, let alone pro forma.

Friendship Court Phase 4 is conceptual only and the remaining funding included in the CIP to illustrate the City's original commitment to funding the total cost of this redevelopment project.

6. Is 501 Cherry funding contingent on them receiving LIHTC funding, which they were not awarded this year?

The council placed no contingencies on the allocation of these funds. A fully funded project plan and development agreement is required before these funds are released.

7. I believe the Stribling CIP item is about \$500k short relative to the last "Alternative 1" cost estimate I've seen. Has that been value engineered into budget, or will that overrun be filled with a CIP modification?

Staff are currently finalizing the total project costs and there is some anticipation that additional funding may be required. Subject to approval, the project budget may be adjusted as part of the City Manager's Proposed Budget.

8. We have put a lot of our debt capacity into schools improvements recently so our bondable debt capacity is relatively low in this plan. At what time does it get larger again?

Based on current debt projections, the City's debt capacity remains very strong. As we have been discussing with Council, the bigger issue is the affordability of the annual debt service.

9. I see we have nothing for housing that is bondable for FY30. Is the thought that we will put everything into non-bondable projects for that year? I like splitting up our housing spend when we can.

Currently, no affordable housing projects that would qualify as bondable have been planned for FY 29 or FY 30.

CITY OF CHARLOTTESVILLE
OPERATING & CAPITAL IMPROVEMENT
BUDGET
ADOPTED FISCAL YEAR 2025/2026



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Planning Commission Public Hearing

FY 2026 – 2030 Capital Improvement Plan

December 10, 2024



Overview

- Overview of a Capital Improvement Program (CIP)
- Responses to Planning Commission Feedback from September
- What's Next?
- Resources for More Information



Summary

	FY 2026	FY 2027	FY 2028	FY 2029	FY 2030	Totals
Sources of Funds:						
General fund transfer	\$ 9,367,096	\$ 9,526,059	\$ 9,714,791	\$ 9,909,184	\$ 12,109,410	\$ 50,626,539
CIP Contingency	-	1,964,486	-	716,750	-	\$ 2,681,236
Bond issues	21,805,539	26,341,329	46,395,396	25,758,755	10,962,713	\$ 131,263,732
Contribution from Schools	200,000	200,000	200,000	200,000	200,000	\$ 1,000,000
Other	40,000	40,000	40,000	40,000	40,000	\$ 200,000
Total sources	\$ 31,412,635	\$ 38,071,874	\$ 56,350,187	\$ 36,624,689	\$ 23,312,123	\$ 185,771,507
Uses of funds:						
Education	\$5,757,489	\$8,900,000	\$30,900,000	\$4,900,000	\$3,400,000	\$53,857,489
Facilities Capital Projects	\$2,946,794	\$3,566,264	\$2,743,930	\$12,443,950	\$1,792,165	\$23,493,102
Public safety and justice	\$1,040,918	\$1,817,065	\$841,864	\$1,832,806	\$1,108,958	\$6,641,611
Transportation and access	\$6,830,234	\$8,670,645	\$10,368,293	\$7,996,133	\$7,706,000	\$41,571,305
Parks and recreation	\$1,665,000	\$1,200,000	\$1,200,000	\$1,200,000	\$1,200,000	\$6,465,000
Affordable Housing	\$12,732,200	\$13,477,900	\$10,006,100	\$7,961,800	\$7,815,000	\$51,993,000
Technology Infrastructure	\$440,000	\$440,000	\$290,000	\$290,000	\$290,000	\$1,750,000
Total uses	\$ 31,412,635	\$ 38,071,874	\$ 56,350,187	\$ 36,624,689	\$ 23,312,123	\$185,771,507
Funding Gap	\$0	\$0	\$0	\$0	\$0	\$0

*All figures are subject to change until the City Manager's Proposed Budget is released in March 2025.



Funding the CIP - Revenues

	<u>Proposed FY26</u>	<u>Projected FY27</u>	<u>Projected FY28</u>	<u>Projected FY29</u>	<u>Projected FY30</u>	<u>5 Year Total</u>
Revenues						
Transfer from General Fund	8,692,096	8,851,059	9,039,791	9,234,184	11,434,410	47,251,540
Transfer from General Fund - Mall Vendor Fees	100,000	100,000	100,000	100,000	100,000	500,000
Transfer from General Fund - VCF Allocation	575,000	575,000	575,000	575,000	575,000	2,875,000
Contribution from Schools (Small Cap Program)	200,000	200,000	200,000	200,000	200,000	1,000,000
CIP Contingency (from prior year surplus)	0	1,964,486	0	716,749		2,681,235
PEG Fee Revenue	40,000	40,000	40,000	40,000	40,000	200,000
CY 2026 Bond Issue	21,805,539	0	0			21,805,539
CY 2027 Bond Issue	0	26,341,329	0			26,341,329
CY 2028 Bond Issue	0	0	46,395,396			46,395,396
CY 2029 Bond Issue				25,758,755		25,758,755
CY 2030 Bond Issue					10,962,713	10,962,713
TOTAL AVAILABLE REVENUES	\$31,412,635	\$38,071,874	\$56,350,187	\$36,624,688	\$23,312,123	\$185,771,507

*All figures are subject to change until the City Manager's Proposed Budget is released in March 2025.

Budget must be Balanced: Planned Revenues must equal Planned Expenses



Education

\$5,757,489 in FY 2026, \$53.9M 5-year Total

EDUCATION	Proposed	Projected	Projected	Projected	Projected	5 Year
Project	FY26	FY27	FY28	FY29	FY30	Total
Lump Sum to Schools (City Contribution)	1,200,000	1,200,000	1,200,000	1,200,000	1,200,000	6,000,000
City Schools HVAC Repair	750,000	750,000	750,000	750,000	750,000	3,750,000
City Schools Priority Improvement Projects	1,250,000	1,250,000	1,250,000	1,250,000	1,250,000	6,250,000
Charlottesville High School Roof Replacement	2,357,489	0	0	0	0	2,357,489
Charlottesville City School Reconfiguration	0	0	0	0	0	0
Charlottesville Walker School Pre-K Center	0	4,000,000	26,000,000	0	0	30,000,000
Clark Elementary School Windows Replacement	0	0	0	0	0	0
Burnley-Moran Elementary School Roof Replacement	0	1,500,000	0	0	0	1,500,000
Jackson-Via Elementary School Roof Replacement	0	0	1,500,000	0	0	1,500,000
Johnson Elementary School Roof Replacement	0	0	0	1,500,000	0	1,500,000
School Small Capital Improvements Program	200,000	200,000	200,000	200,000	200,000	1,000,000
SUBTOTAL	\$5,757,489	\$8,900,000	\$30,900,000	\$4,900,000	\$3,400,000	\$53,857,489

*All figures are subject to change until the City Manager's Proposed Budget is released in March 2025.



Facilities Capital Projects

\$2,946,794 in FY 2026, \$23.5M 5-year Total

FACILITIES CAPITAL PROJECTS	Proposed FY26	Projected FY27	Projected FY28	Projected FY29	Projected FY30	5 Year Total
Project						
Lump Sum to Facilities Capital Projects	1,119,956	1,159,155	1,193,930	1,217,809	1,242,165	5,933,014
City Facility HVAC Replacement	500,000	500,000	500,000	500,000	500,000	2,500,000
City and Schools Solar PV Program	75,000	0	0	0	0	75,000
General District Court - FFE and Hearing Room	201,838	0	0	0	0	201,838
Climate Action Initiatives	1,000,000	1,000,000	1,000,000	1,000,000	0	4,000,000
Jefferson-Madison Regional Library Renovations	0	857,109	0	9,676,141	0	10,533,250
HVAC Contingency Fund - City and School Facilities	50,000	50,000	50,000	50,000	50,000	250,000
SUBTOTAL	2,946,794	3,566,264	2,743,930	12,443,950	1,792,165	23,493,102

*All figures are subject to change until the City Manager's Proposed Budget is released in March 2025.



Public Safety and Justice

\$1,040,918 in FY 2026, \$6.6M 5-year Total

PUBLIC SAFETY AND JUSTICE

<u>Project</u>	<u>Proposed FY26</u>	<u>Projected FY27</u>	<u>Projected FY28</u>	<u>Projected FY29</u>	<u>Projected FY30</u>	<u>5 Year Total</u>
Replacement Fire Apparatus	0	1,334,065	0	1,470,806	0	2,804,871
Replacement EMS Apparatus	458,918	0	481,864	0	505,958	1,446,740
Bypass Fire Station (old building) Repurpose/Upfit	100,000	0	0	0	0	100,000
Police Mobile Data Terminals	82,000	83,000	85,000	87,000	88,000	425,000
Police Portable Radio Replacement	75,000	75,000	75,000	75,000	75,000	375,000
Fire Portable Radio Replacement	75,000	75,000	75,000	75,000	75,000	375,000
Sheriff Portable Radio Replacement	40,000	40,000	40,000	40,000	40,000	200,000
Fire - Self-Contained Breathing Apparatus Replacements	150,000	150,000	25,000	25,000	25,000	375,000
Fire - Protective Clothing/Turnout Gear Replacement	60,000	60,000	60,000	60,000	300,000	540,000
SUBTOTAL	\$1,040,918	\$1,817,065	\$841,864	\$1,832,806	\$1,108,958	\$6,641,611

*All figures are subject to change until the City Manager's Proposed Budget is released in March 2025.



Transportation and Access

\$6,830,234 in FY 2026, \$41.6M 5-year Total

TRANSPORTATION AND ACCESS	Proposed	Projected	Projected	Projected	Projected	5 Year
Project	FY26	FY27	FY28	FY29	FY30	Total
New Sidewalks	910,000	776,000	1,193,000	1,194,000	631,000	4,704,000
Sidewalk Repair	500,000	500,000	650,000	700,000	700,000	3,050,000
SIA Immediate Implementation	200,000	200,000	200,000	200,000	200,000	1,000,000
Small Area Plans	150,000	150,000	150,000	150,000	150,000	750,000
Street Milling and Paving	1,250,000	1,500,000	1,700,000	1,750,000	2,000,000	8,200,000
ADA Pedestrian Signal Upgrades	240,000	240,000	240,000	0	0	720,000
Minor Bridge Repairs	225,000	225,000	225,000	0	0	675,000
Citywide ADA Improvements - Sidewalks and Curbs	100,000	100,000	100,000	100,000	100,000	500,000
Traffic Signal Infrastructure Replacement	250,000	2,000,000	3,000,000	1,000,000	1,000,000	7,250,000
ADA Transition Plan	2,000,000	2,000,000	2,000,000	2,000,000	2,000,000	10,000,000
State Bridge and Highway Inspections	100,000	100,000	100,000	100,000	100,000	500,000
CAT Transit Bus Replacement Match	245,234	169,645	150,293	77,133	150,000	792,305
Intelligent Transportation System	185,000	185,000	185,000	200,000	200,000	955,000
City Wide Traffic Engineering Improvements	150,000	150,000	150,000	150,000	150,000	750,000
Neighborhood Transportation Improvements	100,000	100,000	100,000	100,000	100,000	500,000
Bicycle Infrastructure	100,000	100,000	100,000	100,000	100,000	500,000
Right of Way Appurtenance	100,000	100,000	100,000	100,000	100,000	500,000
Traffic Sign Retro Reflective Compliance	25,000	25,000	25,000	25,000	25,000	125,000
Historic District and Entrance Corridor Design Guidelines	0	50,000	0	50,000	0	100,000
SUBTOTAL	\$6,830,234	\$8,670,645	\$10,368,293	\$7,996,133	\$7,706,000	\$41,571,305

*All figures are subject to change until the City Manager's Proposed Budget is released in March 2025.



Parks and Recreation

\$1,665,000 in FY 2026, \$6.5M 5-year Total

PARKS AND RECREATION	Proposed	Projected	Projected	Projected	Projected	5 Year
Project	FY26	FY27	FY28	FY29	FY30	Total
Downtown Mall Infrastructure Repairs	100,000	100,000	100,000	100,000	100,000	500,000
Parks and Recreation Lump Sum Account	400,000	400,000	400,000	400,000	400,000	2,000,000
Parks and Schools Playground Renovations	200,000	200,000	200,000	200,000	200,000	1,000,000
Urban Tree Planting	125,000	125,000	125,000	125,000	125,000	625,000
Parkland and Trails Acquisition and Development	125,000	125,000	125,000	125,000	125,000	625,000
Oakwood Cemetery Drainage and Road Issues	150,000	0	0	0	0	150,000
Hazard and Liability Ash Tree Removal	0	0	0	0	0	0
Downtown Mall Trees Active Lifecycle Management	100,000	100,000	100,000	100,000	100,000	500,000
Invasive Plant Removal	150,000	150,000	150,000	150,000	150,000	750,000
Downtown Mall Tree Management Plan	315,000	0	0	0	0	315,000
SUBTOTAL	\$1,665,000	\$1,200,000	\$1,200,000	\$1,200,000	\$1,200,000	\$6,465,000

*All figures are subject to change until the City Manager's Proposed Budget is released in March 2025.



Technology Infrastructure

\$1,665,000 in FY 2026, \$6.5M 5-year Total

TECHNOLOGY INFRASTRUCTURE	Proposed	Projected	Projected	Projected	Projected	5 Year
<u>Project</u>	<u>FY26</u>	<u>FY27</u>	<u>FY28</u>	<u>FY29</u>	<u>FY30</u>	<u>Total</u>
Communications Technology Account/Public Access	40,000	40,000	40,000	40,000	40,000	200,000
City Wide IT Strategic Infrastructure	250,000	250,000	250,000	250,000	250,000	1,250,000
Voting Equipment Replacement	150,000	150,000	0	0	0	300,000
SUBTOTAL	\$440,000	\$440,000	\$290,000	\$290,000	\$290,000	\$1,750,000

*All figures are subject to change until the City Manager's Proposed Budget is released in March 2025.



Affordable Housing

\$12,732,200 in FY 2026, \$52M 5-year Total

AFFORDABLE HOUSING	Proposed	Projected	Projected	Projected	Projected	5 Year
Project	FY26	FY27	FY28	FY29	FY30	Total
Public Housing Redevelopment - (CRHA)	3,000,000	0	0	0	0	3,000,000
Westhaven Redevelopment	5,000,000	5,000,000	5,000,000	0	0	15,000,000
Charlottesville Affordable Housing Fund (CAHF)	1,500,000	1,500,000	1,500,000	1,500,000	1,500,000	7,500,000
Supplemental Rental Assistance (CSRAP)	900,000	900,000	900,000	900,000	900,000	4,500,000
Friendship Court Infrastructure Improvements	0	650,000	350,000	1,560,000	840,000	3,400,000
Friendship Court Redevelopment - Phase 3	0	2,047,500	1,102,500	0	0	3,150,000
Friendship Court Redevelopment - Phase 4	0	0	0	2,925,000	1,575,000	4,500,000
PHA - 501 Cherry Avenue	1,000,000	2,150,000	0	0	0	3,150,000
Carlton Mobile Home Park	1,332,200	1,230,400	1,153,600	1,076,800	3,000,000	7,793,000
SUBTOTAL	\$12,732,200	\$13,477,900	\$10,006,100	\$7,961,800	\$7,815,000	\$51,993,000

*All figures are subject to change until the City Manager's Proposed Budget is released in March 2025.



Planning Commission Review

Following the FY26 Budget Kick off at the Council meeting on Monday September 16, 2024, the Planning Commission held a discussion at their September 24, 2024 work session to kick off review of the Capital Improvement Program (CIP) section. Commissioners had been asked to think about potential priorities following review of last year's materials.

The following feedback was provided for consideration:

- Provide additional funding for multimodal transportation (walking, biking, transit etc.) o Sidewalk funding needs to be restored and increased.
- Funding for community infrastructure to allow for implementation of the Comprehensive Plan. This includes utilities and transportation.
- Adequate funding to complete the Smart Scale projects currently funded.
- Provide for the human capital needed to accomplish funded projects.
- Fund the Downtown Mall initiatives (tree study, infrastructure, etc.)
- Continue commitment to affordable housing and support homelessness needs.



PC Feedback Item # 1: Multimodal Transportation

Provide additional funding for multimodal transportation (walking, biking, transit etc.). Sidewalk funding needs to be restored and increased.

- For the FY 26-30 CIP an additional \$4.2M has been added for the construction of new sidewalks as detailed on the priority list
- \$2M/yr for a total of \$10M has been added to help remediate ADA barriers
- For FY25, the City continued its commitment to CAT by increasing its investment by \$1.8M (from the General Fund) and by participating in discussions regarding a regional system



PC Feedback Item #2: Community Infrastructure

Funding for community infrastructure to allow for implementation of the Comprehensive Plan. This includes utilities and transportation.

- Each project in the 5-year plan has been linked to the relevant chapters and goals of the strategic plan.
- For FY26, the current draft includes \$6.8M in projects related to transportation and access through out the City.
- Projects related to the City owed utilities (Gas, Water and Wastewater) are funded in the utility funds which are shown and funded separately from this CIP plan.



PC Feedback Item #3: Smart Scale Projects

Adequate funding to complete the Smart Scale projects currently funded.

- The City Manager confirmed with the VDOT District Engineer a series of changes to the current locally administered program to include canceling two projects, revising the scopes of two projects, and redistributing previously awarded funds to the series of projects in the current portfolio that are stalled due to significant budget gaps.
- Council will consider this action at its December 2nd meeting.
- The Commonwealth Transportation Board will consider the request at its meeting in January, making it possible for all previously funded grant awards to Charlottesville to remain for use within its current portfolio, ensuring no additional project loss.
- Council will consider the reallocation of funds resulting from the CTB's action in January/February.



PC Feedback Item #4: Human Capital for Projects

Provide for the human capital needed to accomplish funded projects.

- Assessment of staffing needs done in 2024 which resulted in 4 additional project manager positions which have all been filled.
- The City completed a reorganization within the Public Works Department
 - Included the addition of a Deputy Director
 - Addition of Project Manager specializing in right of way acquisition
 - Merged ALL project manager teams into a single Facilities Development Team which provides PM specialization for all construction projects regardless of department and built by the city.



PC Feedback Item #5: Downtown Mall Initiatives

Fund the Downtown Mall initiatives (tree study, infrastructure, etc.)

The CIP includes 3 projects related to the Downtown Mall:

- Infrastructure account which is funded by café permit fees and is funded by \$100k/yr
- Downtown Mall Active Lifecycle Tree Management account which is funded at \$100k/yr to help take care of pruning and general maintenance of the trees on the mall
- Downtown Mall Tree Management Plan (new in FY26) \$315k is funded for the development of the plan. Information from the plan will inform the funding in the future years for managing larger scale overall tree plan for the mall.



PC Feedback Item# 6: Affordable Housing and Homelessness Needs

Continue commitment to affordable housing and support homelessness needs.

- FY26 includes \$12.7M in funding for Affordable Housing projects and just under \$52M is included for the 5-year plan.
- The City Manager has been leading discussions with Council on Community Interventions which include homelessness and some potential uses of ARP funding.



What's Next?





CIP Resources

[Budget Explorer Tool](#)

- Current CIP Funding by Project

[Online CIP Budget Book](#)

- Story pages for each project included in 5-year plan

[City Comprehensive Plan](#)

- <https://charlottesville.gov/1111/Comprehensive-Plan>

[City of Charlottesville Budget Webpage](#)

- <https://charlottesville.gov/budget>



Important Budget Dates

Work Sessions

March 6

March 13

March 27

April 10

Public Hearings

March 17
(Tax Rates)

April 7
(Budget)

Community Budget Forum

March 20

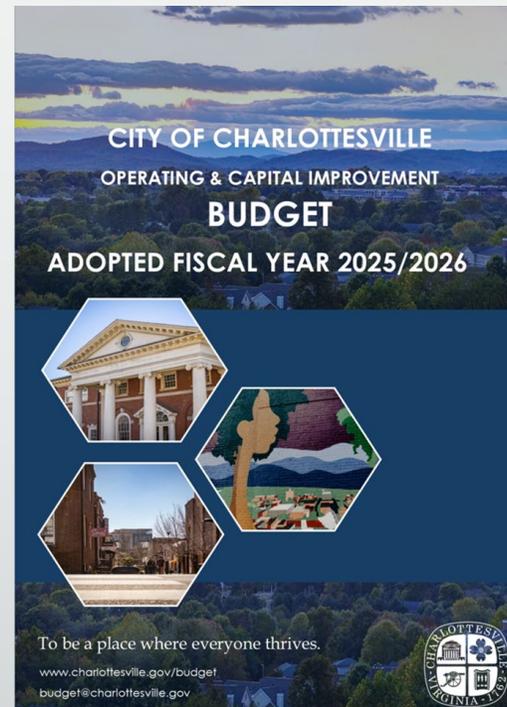
Budget Adoption

April 14



Questions and Discussion

www.Charlottesville.gov/budget



PLANNING COMMISSION REGULAR MEETING
November 12, 2024 – 5:30 P.M.
Hybrid Meeting

I. COMMISSION PRE-MEETING (Agenda discussion(s))

Beginning: 5:00 PM

Location: NDS Conference Room

Members Present: Chairman Mitchell, Commissioner Stolzenberg, Commissioner d’Oronzio, Commissioner Joy, Commissioner Schwarz, Commissioner Solla-Yates, Commissioner Yoder, Commissioner Roettger

Staff Present: Patrick Cory, Missy Creasy, Matt Alfele, Kellie Brown, Dannan O’Connell

Chair Mitchell called the meeting to order. He noted that the consent agenda will be broken into two parts. The first will contain the minutes and the second will include the items related to the MACAA project. Mr. Schwartz will provide his disclosure concerning the MACAA items. Chair Mitchell asked if there were any questions about any consent items which there were none. There was a brief discussion about the electronic meeting policy.

Chair Mitchell asked Commissioner Solla-Yates to provide an overview of information he had shared. Commissioner Solla-Yates provided feedback from a presentation where a community provided allowance for neighborhood commercial in historic structures that had served as commercial in the past and asked if that was something that could be explored. Ms. Brown noted that staff is putting together the work plan and including consideration for commercial in residential areas was a good idea. It was noted that this could be included with other zoning items in need of review and study. There are a number of items for the work plan and priority setting will be needed to determine how best to accomplish.

II. COMMISSION REGULAR MEETING – Meeting called to order by Chairman Mitchell at 5:30 PM

Beginning: 5:30 PM

Location: City Hall Chambers

A. COMMISSIONER’S REPORT

Commissioner Stolzenberg – I have had a couple of meetings since our last meeting in September. We had a LUPEC meeting in September. We received updates on the Rivanna Station Futures project. The county bought some land around the Rivanna Station for future expansion. There was an update on the North Fork Discovery Park and an update on the Ivy Pipeline study that VDOT was doing. I was not at that meeting. I cannot give you any details. We had a LUPEC meeting in October about the AC44 Albemarle County’s new Comprehensive Plan. It has this concept of activity centers. We learned about staff’s thinking on how those would work in AC44. We also had an update on the regional water supply and the various improvements that RWSA is planning on that. You might have heard that there is an ongoing discussion with DEQ about how much they are allowed to take out of the Beaver Creek Reservoir for Crozet and the need to expand it in the future or find another water source for Crozet’s growth. We had an MPO Tech meeting in October. This meeting was bleak. We submitted a smart-scale application for the 5th Street diverging diamond to get a center running shared use path over the bridge. The main reason for selecting a DDI was that it was thought not to require a bridge replacement, which would make its cost something that was possible. After the application was submitted, the VDOT bridge team determined that a full superstructure replacement would be necessary. The cost for that

came in at \$80 million. We will see in January if that is funded. It is not looking good. We also got an update from the Ivy Corridor. From that meeting, they are going to package it into different sets of projects that can be submitted separately. The new rules say that if you do a corridor study and it says a bunch of projects, you must submit them all together as one package for smart scale. VDOT is about to launch new smart scale studies. One of them is the Emmet and 29 interchange. Another one is 29 from Hydraulic to Woodbrook. That will be focused on safety at intersections from Hydraulic up to Lowes. There is one in the city. That will be the West Main-Ridge-McIntire-Water Street-South Street intersection in developing a plan for future smart scale submissions for that. There will also be new pipeline studies. One will be on 5th Street because the DDI will not be funded. They will be taking another look at what to do there. There is also a pipeline study for 29 at exit 118 at the 64 interchange. It is not looking good for us to get anything funded through smart scale in the future. We should take the projects that are funded and execute them.

Commissioner Schwarz – With the BAR, there were 2 things of note. At the last meeting, we looked at a 9-unit apartment building on Gordon Avenue. This was supposed to be a final review. We had seen it some time ago. The developer chose to cap it at 3 stories and 9 units for construction type. There would be 10 units and one of those units would have to be affordable. We had to defer it because it had some issues with the zoning code that needed to be addressed. We were unsure if there were some parts of it that met the zoning code or not. I think staff was going to look at it again. We looked at the café guidelines. We completed the review of a section. The philosophy that was adopted was to try and limit the privatization of The Mall. The guidelines were tailored towards more transparency through the café spaces. There were no big changes. That will go to Council sometime this winter so that everything is adopted before the next café season starts.

Commissioner Solla-Yates – Virginia Department of Housing and Community Development got together the single staircase Advisory Group for one last meeting to discuss the finalized report on updating our building code to allow safer and more affordable missing middle housing. We have made some tweaks. I added some historical and urban design things. I am excited about it. It is looking, based on the national changes, we will be getting a 4th story of single staircase design. The 5 and 6 remain a question mark. The Pew Charitable Trusts shared some initial data from a report they have been working on looking at New York City and Seattle. They took a similar analysis to Virginia. We don't have a lot of single staircase new construction to study. Looking at old and new multifamily and single-family detached, we found new multifamily remarkably safe. It was a huge safety improvement. The more multifamily we can build in Virginia that is new and up to code, the better. It is nice to see the data.

Commissioner d'Oronzio – I attended a panel discussion and tutorial on the HOPS application as a panelist at the end of September. The HOPS (Housing Operations and Support) application period closed on the 18th. I think the CAHF opened on the 18th. We have revamped some of the questions and some of the materials surrounding that. Most of them have been administrative. The HAC has had 2 meetings since our last meeting. They were both free forums. We did have a discussion in September regarding the lived experience, people on boards & commissions, and the problematic nature of that and what could be done. The HAC did not have a solution to solve this problem. We also had a discussion in September on the final runup to the landbank presentation on October 7th to City Council. That went quite well. Sunshine, myself, and Nicole Scro presented that and fielded questions. We thought that went as well as it could have. In the October HAC meeting, we discussed ongoing plans regarding tax abatement programs. The TJPDC met twice. The September meeting was primarily housekeeping. In November, we had a couple of items. The first item is the working update for the hazard mitigation plan, which the region must keep rolling for FEMA to be willing to give us money when it 'hits the fan.' We had a discussion of the upcoming regional housing summit in March. That is happening March 13th, 14th, and 15th in and around The Omni. It was a resounding success last year. This year, they have not yet put together the rest of the budget. There are sponsorship opportunities out there. They have a packed agenda for that. I will give more details for that.

Commissioner Roettger – The Tree Commission is working on the State of the Forest or Urban Canopy Report. There has been some positive movement on hiring someone for an urban forestry management plan. This is under Parks and Recreation. They have done more evasive plant removal. There are always some questions and thoughts about research on how to maintain as many trees as possible and have more trees. I don't know if it would be worth doing a work session. I thought it might be interesting to talk about some of these strategies. I have been to some reviews at UVA where there is a studio looking at building some small houses on lots testing out the zoning code. They are calling them ADUs. There is a landscape architect working with them looking at strategies for how homeowners might control the new water runoff from new pavement and new housing.

Commissioner Yoder – No Report

B. UNIVERSITY REPORT

Commissioner Joy – I have several items I would like to update the Commission on. It is primarily construction and planning updates across Grounds. With Fontaine, construction for Fontaine Central Energy Plant is underway. The underground utilities, which includes geothermal wells, the foundation walls, and the slab on grade are now complete. The steel erection begins this week. The plan is expected to be completed in early 2026. With the Fontaine Parking Garage, the pre-cast erection is underway. That project is on track for completion in the Fall of 2025. With the Manning Institute of Biotechnology, they are currently pouring the first of the 2 crane pads. They have an estimated December arrival for the first crane. Foundations are expected to be completed in early 2025. With the North Grounds, there are 2 projects going on. The first project is a renovation of the house, which includes a 5000-foot addition for programming and event space. The site has been cleared. Utility and infrastructure work is underway. The second project associated with that area is a new access drive from Leonard Sandridge Road to the Center for Politics. That construction is mostly complete. Lights will shortly be installed. This will become the primary access point, not just for construction, but the only access point to the Center for Politics. The existing one, which is access from Crestwood Drive, will be closed. With UVA Health, there are a couple of updates. The design of the FED out of the remaining floors is underway. There is a CM selection process. This is to build out the floors that were in the new hospital wing. It is only interior construction work. Last Saturday, the University and UVA Health sponsored a community workshop in western Fifeville that invited the public to visit University owned sites on Grove Street and Oak Lawn to see the historic Fife family property. The point of this was to let people see the properties in person and have them offer ideas for the future use and activity and to discuss how these projects can complement and support the neighborhood and community. With the Emmet and Ivy Corridor, construction is ongoing for the Karsh Institute of Democracy. That is in the foundation phase. It is on track for a Summer 2026 opening. The Virginia Guest House and Conference Center is nearing completion of the exterior envelope. It is on track for a Fall 2025 opening. On December 5th and 6th, there is a Board of Visitors meeting. There is going to be a schematic review for the Center for The Arts. This project will house UVA's museums, the School of Music, and The Tessa & Richard Ader Performing Arts Center. Student housing for the Emmet & Ivy Corridor will be brought for design review. This proposed site is located at the western most parcels of the 14-acre development that sits near Copley Road and span between the railway and Ivy Road. The proposed North Grounds Parking Garage will be for design approval with the goal of starting construction this fall. At the start of this academic year, 338 students moved into Gaston and Ramazani Houses, which are the latest dorms on Brandon Avenue. The Darden student housing recently broke ground on their 218-apartment unit building. That offers their grad students a mix of 1-, 2-, and 3-bedroom configurations. With the projects at Wertland and Piedmont, they are moving ahead steadily. The developers, Piedmont Housing Alliance, and Preservation of Affordable Housing are working on pre-construction activities, such as site assessments, community engagement, and early design concepts. The University is negotiating partnership agreements with the developers, which will hold them accountable for creating high quality communities that will be affordable and well maintained for many decades. Each site is unique. It continues to progress on its own timeline. The timing for construction depends

on financing and entitlements. Based on conversations with the developers, construction will not begin before 2026 for Wertland and 2027 at Piedmont.

C. CHAIR’S REPORT

Chairman Mitchell – Parks & Recreation has been focused on the Master Plan. There is a lot of work going into that. We are hoping to ‘land the plane’ in February. It looks like there is going to be a new park that is in Kindewood. It is going to be nestled inside the Kindewood Complex. We are excited about adding that park to the Parks & Recreation portfolio.

D. DEPARTMENT OF NDS

Missy Creasy, NDS Deputy Director – We will start getting ready for the work session that you will have on November 26th. That will be on the CIP. That will be in preparation for a hearing on the CIP (Capital Improvement Program) in December. We do have a big agenda for December. We have a few items. We will not be holding a work session in December.

E. MATTERS TO BE PRESENTED BY THE PUBLIC NOT ON THE FORMAL AGENDA

No Public Comments

F. CONSENT AGENDA

Commissioner Schwarz – Statement of Disclosure – I need to recuse myself from voting on any portion of the Consent Agenda that deals with MACAA. I consult for the architect that is working on those projects.

Motion to approve Items 1 through 4 on the Consent Agenda – Commissioner d’Oronzio – Second by Commissioner Solla-Yates – Motion passes 7-0.

Motion to approve Items 5 and 6 on the Consent Agenda – Commissioner d’Oronzio – Second by Commissioner Solla-Yates – Motion passes 6-0 with 1 abstention (Commissioner Schwarz)

1. Minutes – September 19, 2024 – Regular Meeting
2. Minutes – September 24, 2024 – Work Session
3. Minutes – November 8, 2022 – Regular Meeting
4. Minutes – August 27, 2022 – Work Session
5. Subdivision – MACAA – 1025 Park Street
6. Site Plan – MACAA – 1025 Park Street

III. PLANNING COMMISSION PUBLIC HEARINGS

Continuing: Until all public hearings are complete

Format: (i) Staff Report, (ii) Applicant, (iii) Hearing, (iv) Discussion and Motion

IV. PLANNING COMMISSION ACTION ITEMS

1. Electronic Meeting Participation Policy

- i. Staff Report

Ms. Creasy – In August, you had mentioned moving forward with an electronic meeting policy. We had a draft in September. There were some items that the Attorney’s Office was still reviewing at that time. We took that back. We worked through those concerns. The draft before you has been signed off by the Attorney’s Office. It meets the state code requirements. It meets the guidance that we have been given by Council pertaining to meetings. Their electronic policy will need to be updated based on some changes that the state made. I am sure they will be going through that process in the future. You have the opportunity to review this and to either adopt, adopt with changes, or decline the policy. If the Commission decides to move forward with the policy, we will put it on a cycle so that it is reviewed annually. That will give us the opportunity for you to provide comment and for us to stay in tune with whatever state or local regulations come forward.

Commissioner Schwarz – For personal reasons, you only get two per year. If you have a medical condition or disability, you get as many as you need.

Ms. Creasy – That is correct. That one is more open.

ii. Commission Discussion and Motion

Motion – Commissioner d’Oronzio – I move to adopt this electronic meeting policy. Second by Commissioner Solla-Yates. Motion passes 7-0.

Continuing: until all public hearings and action items are completed.

The meeting was adjourned at 6:00 PM